

CPL | Architecture Engineering Planning
6302 Fairview Road Suite 102,
Charlotte, NC 28210
CPLteam.com

YORK COUNTY PLANNING DEPARTMENT RENOVATION

100% CONSTRUCTION DOCUMENTS

18 LIBERTY STREET, YORK, SC

PROJECT INFORMATION

Project Number

R23.00292.00

Client Name

YORK COUNTY

Project Name

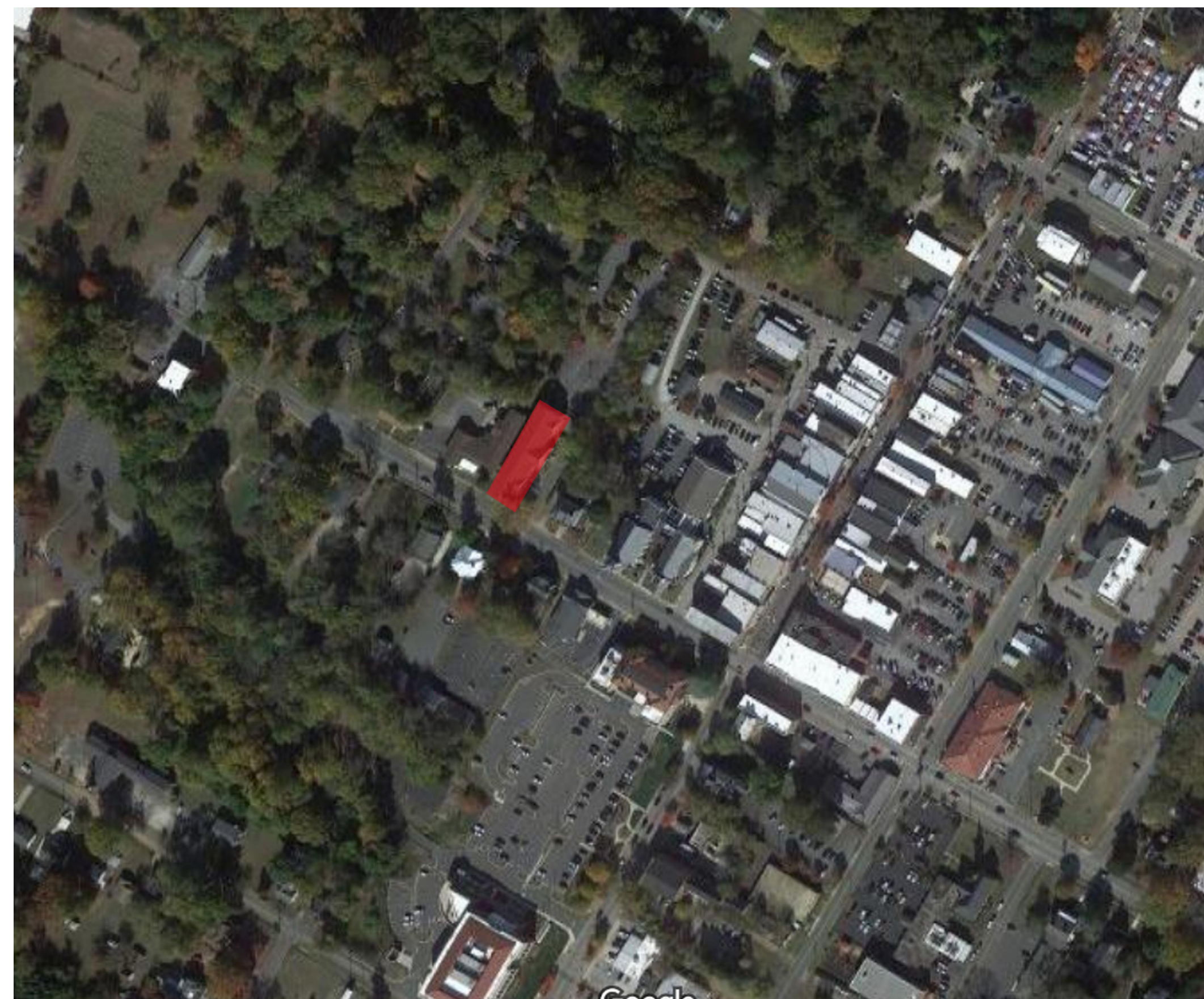
PLANNING DEPARTMENT
RENOVATION

Project Address

18 LIBERTY STREET, YORK, SC

PROJECT ISSUE & REVISION SCHEDULE

Date Description



A	ABOVE FINISHED FLOOR
AFP	ACCESS PANEL
ACOUS	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
AWP	ACOUSTICAL WALL PANEL
ADJ	ADJACENT
A/C	AIR CONDITIONING
ALT	ALTERNATE
ALUM	ALUMINUM
AB	ANCHOR BOLT
ANOD	ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECT, ARCHITECTURAL
AD	AREA DRAIN
ACM	ASBESTOS CONTAINING MATERIAL
IS	AT
AUTO	AUTOMATIC
B	BEARING PLATE
BM	BENCH MARK
BTUM	BITUMINOUS
BLK	BLOCK
BLKG	BLOCKING
BD	BOARD
BTM	BOTTOM
BRK	BRICK
BLDG	BUILDING
BN	BULLNOSE
C	C
CHB	CABINET
CHI	CAST IRON
CB	CATCH BASIN OR CHALK BOARD
CLG	CEILING
CLG HT	CEILING HEIGHT
CL	CENTER LINE
CR	CERAMIC
CIRC	CIRCUMFERENCE
CO	CLEAN OUT
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONST	CONSTRUCTION
CJT	CONSTRUCTION JOINT
CONT	CONTINUOUS
CONTR	CONTRACTOR
CJ	CONTROL JOINT

D	DAMP PROOFING
DEMO	DEMOLISH
DEPT	DEPARTMENT
DET.DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DSP	DISPENSER
DSP	DISPOSAL
DD	DIFF. REPEAT, SAME
DR	DOOR
DBL	DOUBLE
DN	DOWN
DS	DOWNSPOUT
DT	DRAIN TILE
DWR	DRAWER
DWG	DRAWING
DF	DRINKING FOUNTAIN
E	EACH
EA	EACH FACE
EW	EACH WAY
E	EAST
ELEC	ELECTRICAL
ELEV	ELEVATION
EL	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
ENTR	ENTRANCE
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE(D)
EXHST	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EJ	EXPANSION JOINT
F	F
FAB	FABRICATE
FT	FEET
FIG	FIGURE
FIN	FINISH
FF	FINISH FLOOR
REC	FIRE EXTINGUISHER CABINET
FH	FIRE HOSE
FL.FLR	FLOOR
FD	FLOOR DRAIN
FTG	FOOTING
FND	FOUNDATION

FS	FULL SIZE
FUT	FUTURE
G	G
GALV	GALVANIZED
G	GAS
GA	GAUGE
GEN	GENERAL
GC	GENERAL CONTRACTOR
GL	GLASS GLAZING
GB	GRAB BAR
GR	GRADE, GRADING
GSF	GROSS SQUARE FOOT
GYP	GYP SUM
GYP BD	GYP SUM BD
GWB	GYP SUM WALL BOARD
H	H
HDWR	HARDWARE
HDWD	HARDWOOD
HVAC	HEATING, VENTILATING & AIR CONDITIONING
HT, HGT	HEIGHT
HEX	HEXAGONAL
HWY	HIGHWAY
HM	HOLLOW METAL
HORZ	HORIZONTAL
HS	HOSE BIBB
HW	HOT WATER
HR	HOUR
I	I
IN	INCH
INCL	INCLUDING
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
INTERM	INTERMEDIATE
INV	INVERT
J	J
JAN	JANITOR
JS	JANITOR SINK
JT	JOINT
K	K
KIT	KITCHEN
L	L
LBL	LABEL
LAB	LABORATORY
LAM	LAMINATE(D)
LAV	LAVATORY
LVR	LAYER

LDR	LEADER
LH	LEFT HAND
LIB	LIBRARY
LT	LIGHT
LW	LIGHT WEIGHT
M	M
MACH	MACHINE
MH	MAN HOLE
MHC	MAN HOLE COVER
MFR	MANUFACTURE
MFR	MANUFACTURER
MAS	MASONRY
MO	MASONRY OPENING
MAT	MATERIALS
MAX	MAXIMUM
MECH	MECHANICAL
MET	METAL
MTL	METAL
M	METER
MEZZ	MEZZANINE
MIN	MINIMUM
MISC	MISCELLANEOUS
MR	MOISTURE RESISTANT
MTD	MOUNTED
HORZ	HORIZONTAL
NAT	NATURAL
NON	NON
NRC	NOISE REDUCTION COEFFICIENT
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NIS	NOT TO SCALE
NO. #	NUMBER
O	O
OC	ON CENTER
OPNG	OPENING
OD	OUTSIDE DIAMETER
OH	OVERHEAD
P	P
PT	PAINT(ED)
PR	PAIR
PTR	PAPER TOWEL RECEPTOR
PRG	PARKING
PART BD	PARTICLE BOARD
PART	PARTITION
PVMT	PAVEMENT
PL	PLATE
PLBG	PLUMBING
PLTWD	PLYWOOD

PVC	POLYVINYL CHLORIDE
PC CONC	PRECAST CONCRETE
PRE FAB	PREFABRICATED
PT	PRESSURE TREATED
PL	PROPERTY LINE
Q	Q
QTY	QUANTITY
R	R
RAD	RADIUS
RECP	RECEPTACLE
RE	REFER TO
REF	REFERENCE
REFR	REFRIGERATOR
REINFC	REINFORCED(ING)
REQD	REQUIRED
REV	REVISED
RH	RIGHT HAND
R	RISER
RD	ROOF DRAIN
RM	ROOM
RO	ROUGH OPENING
S	S
SAN	SANITARY
SCHED	SCHEDULE
SEC	SECOND
SECT	SECTION
SIM	SIMILAR
SSM	SOLID SURFACE MATERIAL
N	NORTH
COEFFICIENT	COEFFICIENT
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
SGFT	STRUCTURAL GLAZED FACING TILE
STL	STRUCTURAL STEEL
STRUCT	STRUCTURE, STRUCTURAL
SUSP	SUSPENDED
SAT	SUSPENDED ACOUSTICAL TILE
T	T
TEL	TELEPHONE
TEMP	TEMPERATURE
THK	THICKNESS
TPD	TOILET PAPER DISPENSER
TOS	TOP OF SLAB/STEEL
TOW	TOP OF WALL

TYP	TYPICAL
U	UNFINISHED
UNFN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
U	URNAL
V	V
VEN	VENEER
VIF	VERIFY IN FIELD
VEST	VESTIBULE
VOL	VOLUME
W	W
WC	WATER CLOSET
WT	WEIGHT
WWF	WELODED WIRE FABRIC
WWW	WELODED WIRE MESH
W	WEST
WIND	WINDOW
W	WITH
W/O	WITHOUT
WD	WOOD
Y	Y
YD	YARD

DRAWING LIST	
GENERAL	
G000	COVER
CIVIL	
C001	COVER SHEET
C100	EXISTING CONDITIONS AND DEMOLITION PLAN
C200	SITE AND GRADING PLAN
C300	SITE CIVIL DETAILS
ARCHITECTURAL	
A200	FLOOR PLAN AND ENLARGED FLOOR PLANS
A300	BUILDING ELEVATIONS
PLUMBING	
P101	BASEMENT DEMOLITION AND NEW WORK PLAN
ELECTRICAL	
E101	ELECTRICAL PLANS

OWNER
YORK COUNTY
18 LIBERTY STREET
YORK, SC, 29745
www.yorkcountygov.com/

ARCHITECT
CPL | Architecture Engineering Planning
6302 Fairview Road
Suite 102
Charlotte, NC 28210
T. 704.331.9131
CPLteam.com

PROFESSIONAL STAMPS

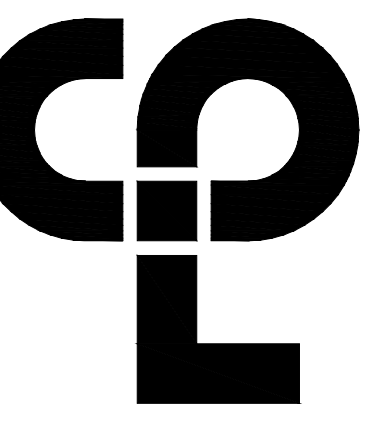


SHEET INFORMATION

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Checked By: RFN
Drawing Title: COVER

Drawing Number: G000

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CPL | Architecture Engineering Planning
325 W. McBea Avenue, Suite 300
Greenville, SC 29601
CPLearn.com



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Project Number: R23.00292.00
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PROJECT ISSUE & REVISION SCHEDULE

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YORK COUNTY PLANNING DEPARTMENT RENOVATION

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APRIL 2024

CITY OF YORK YORK COUNTY, SC

National Flood Hazard Layer FIRMeTte



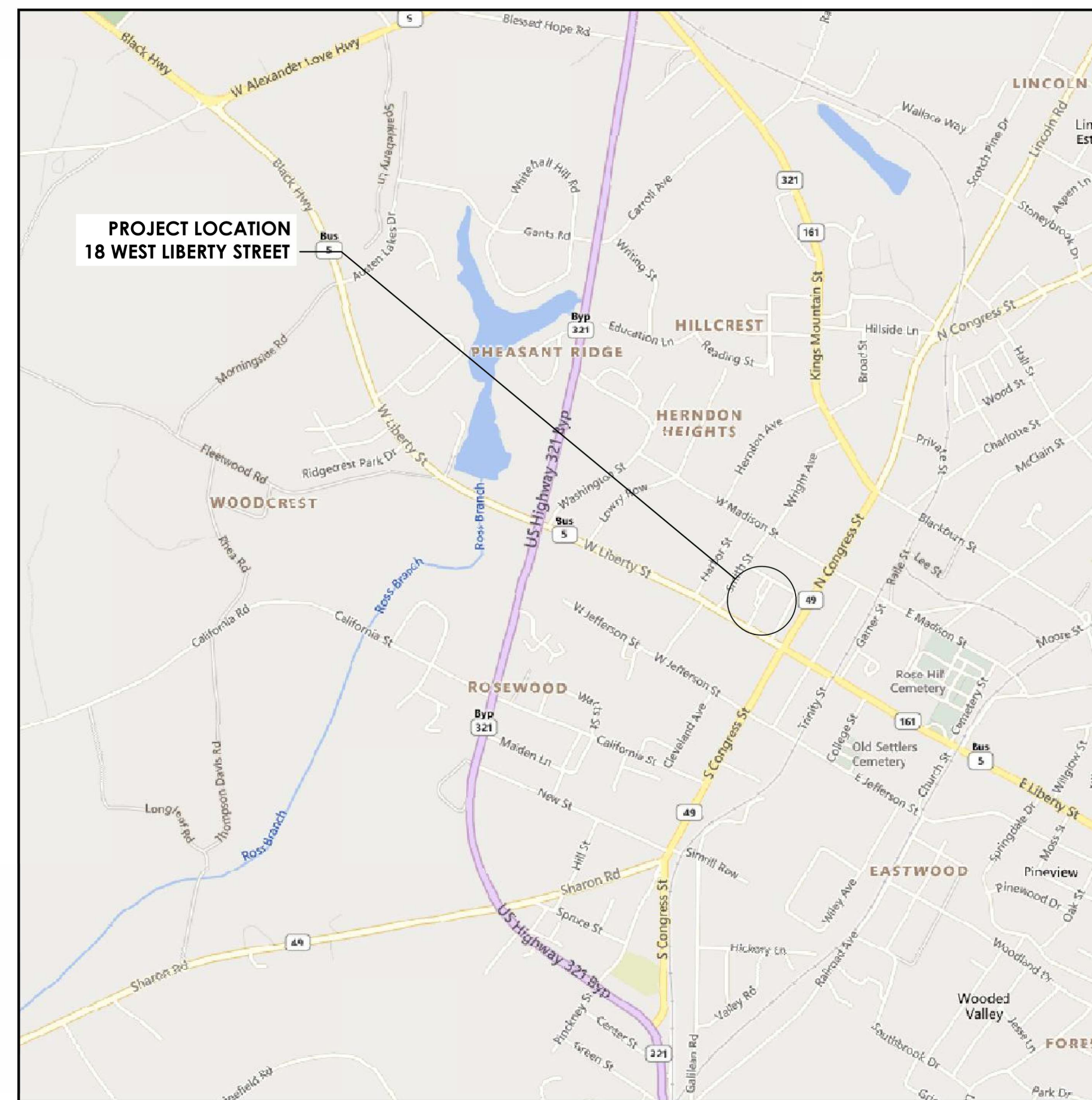
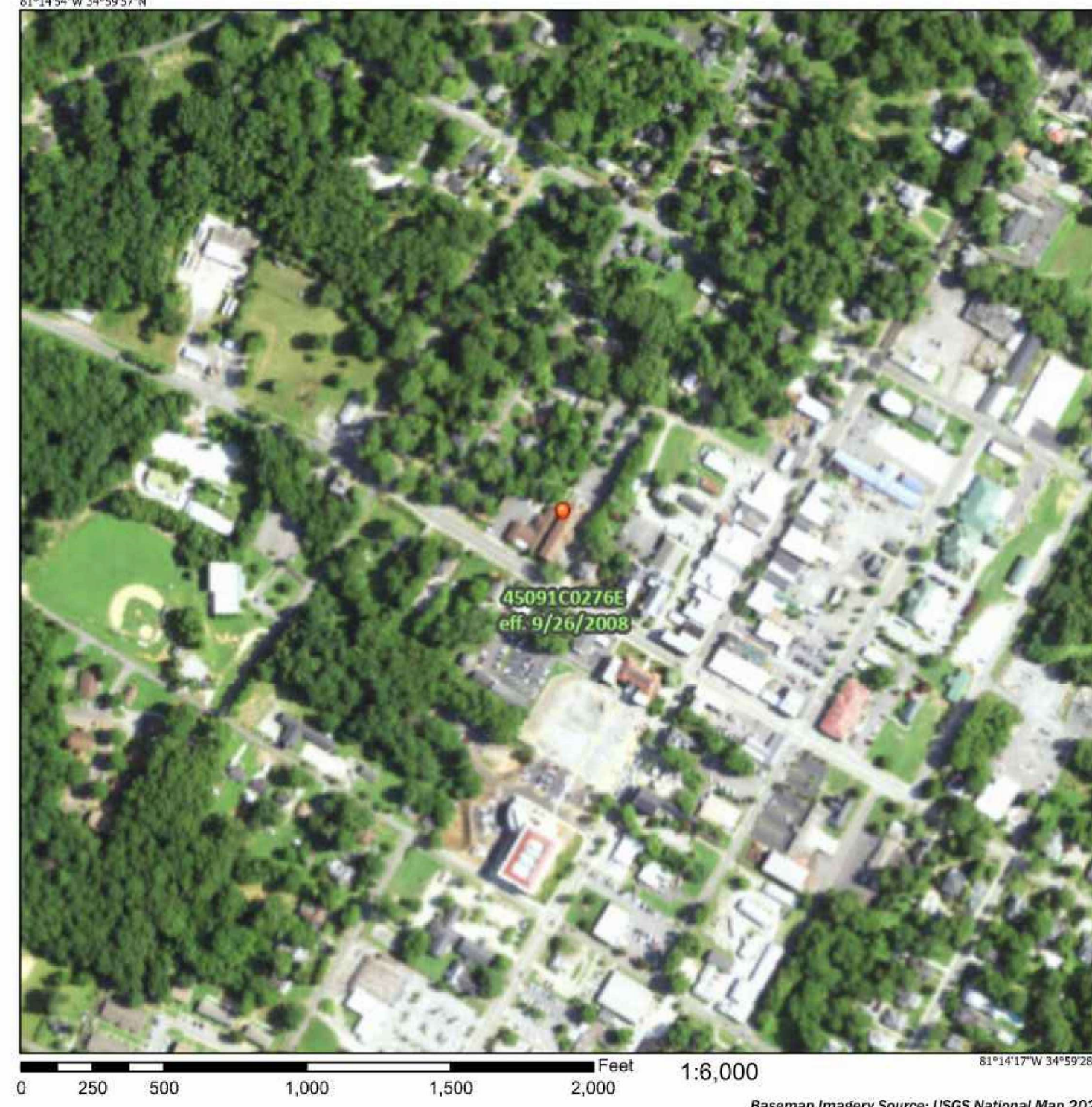
Legend

- SEE THE REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE)
 - With BFE or Depth Zone AC, AE, AH, VE, AR
 - Regulatory Floodway
 - 0.2% Annual Chance Flood Hazard: Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee: See Notes Zone X
 - Area with Flood Risk due to Levee Zone X
 - OTHER AREAS OF FLOOD HAZARD**
 - NO SCREEN: Area of Minimal Flood Hazard Zone X
 - Effective Limits
 - Area of Undetermined Flood Hazard Zone X
 - OTHER AREAS**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
 - GENERAL STRUCTURES**
 - Cross Sections with 1% Annual Chance
 - Water Surface Elevation
 - Channel Transversal
 - Base Flood Elevation Line (BFE)
 - Limit of Flood
 - Jurisdiction Boundary
 - Coastal Transversal Baseline
 - Profile Baseline
 - Hydrographic Feature
 - OTHER FEATURES**
 - Digital Data Available
 - No Digital Data Available
 - Unmapped
 - MAP PANELS**
 - The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps. If it is not used as described below, the basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/19/2023 at 5:28 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unadministered areas cannot be used for regulatory purposes.



LOCATION PLAN
SCALE: 1"=500'

DRAWING INDEX	
DWG. NO.	SHEET TITLE
C001	COVER SHEET
C100	EXISTING CONDITIONS AND DEMOLITION PLAN
C200	SITE AND GRADING PLAN
C300	SITE CIVIL DETAILS

SITE STATISTICS	
PIN	0700301025
CITY	YORK
COUNTY	YORK
ZONING DISTRICT	CENTRAL BUSINESS (B-1)
TOTAL ACREAGE	0.774 AC
EXISTING LAND USE	821 - GOVERNMENT
PROPOSED LAND USE	821 - GOVERNMENT
PROPOSED BUILDING SQUARE FOOTAGE	0 SF
PROPOSED BUILDING HEIGHT	0 FT
PROPOSED NUMBER OF STORIES	N/A
WATER SUPPLY WATERSHED PROTECTION OVERLAY DISTRICT	N/A
SPECIAL FLOOD HAZARD AREA	N/A

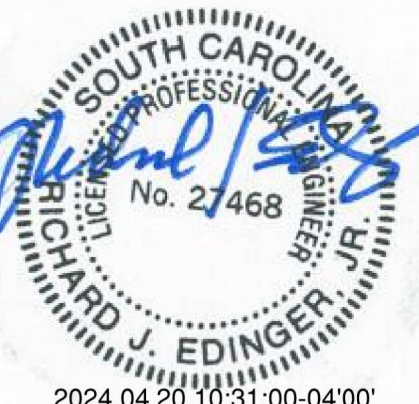
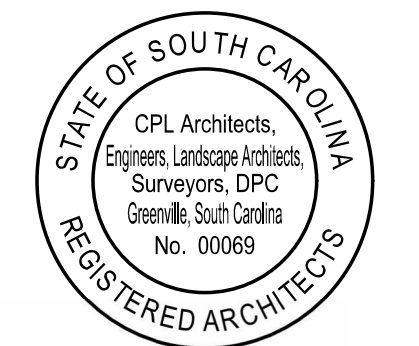
OWNER INFORMATION:

YORK COUNTY
CONTACT: 10 N. ROSEVELT ST.
ADDRESS: PO BOX 500
YORK, SC 29745
PHONE: 803.684.2341

DESIGN PROFESSIONAL:

CPL CONTACT: RICH EDINGER, P.E.
ADDRESS: 3011 SUTTON GATE DRIVE, SUITE 130
SUWANEE, GA 30024
PHONE: 770.831.9000

PROFESSIONAL STAMPS



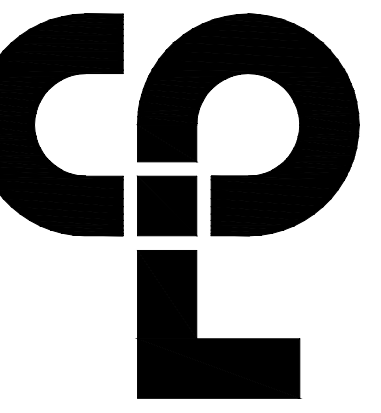
SHEET INFORMATION

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Project Status: 100% CONSTRUCTION DOCUMENTS
Drawn By: CPL
Checked By: CPL
Drawing File: COVER SHEET

Drawing Number
YCO
C001

Sheet Size: 30x42
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Date last increased: 4/18/2024 3:27 PM
Date last plotted: 4/19/2024 1:37 PM
Date last decreased: 4/18/2024 3:27 PM
Basemap Imagery Source: USGS National Map 2023





CPL | Architecture Engineering Planning
325 W. McBee Avenue, Suite 300
Greenville, SC 29601
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PROJECT INFORMATION

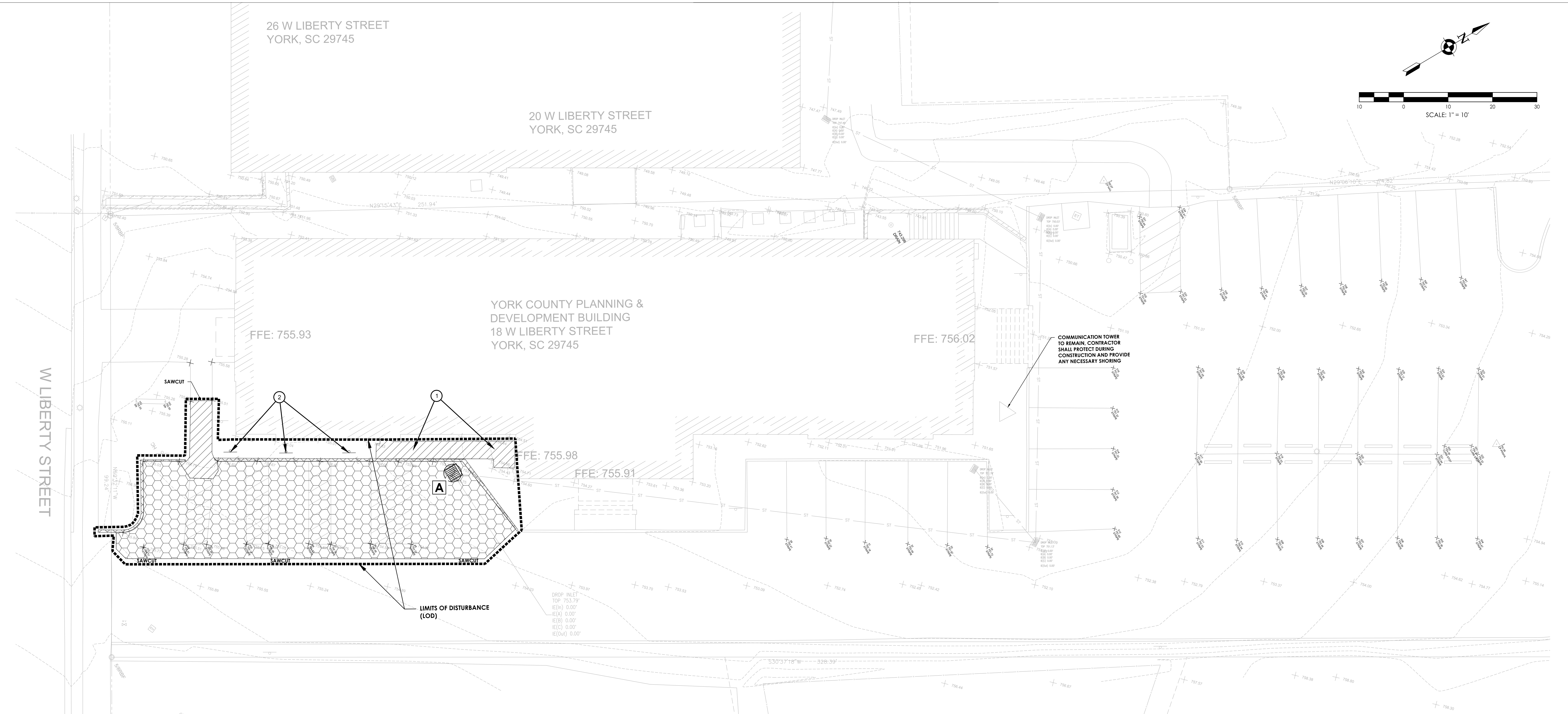
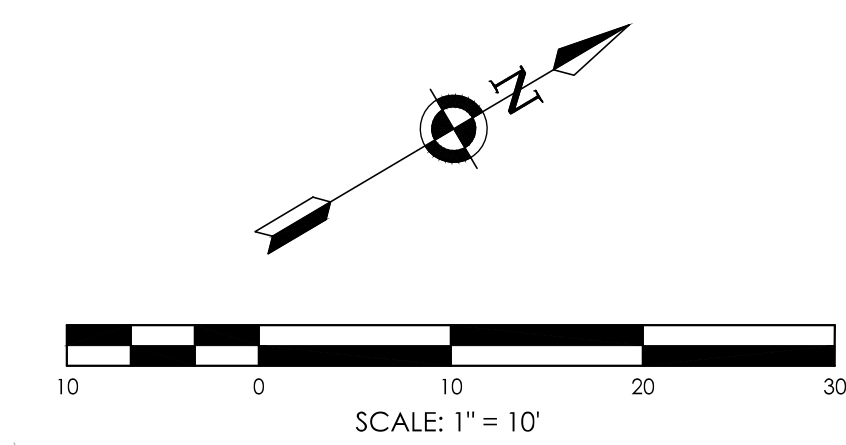
Project Number: R23.00292.00
Client Name: YORK COUNTY

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Project Address: 18 LIBERTY STREET, YORK, SC

PROJECT ISSUE & REVISION SCHEDULE

No. Date Description



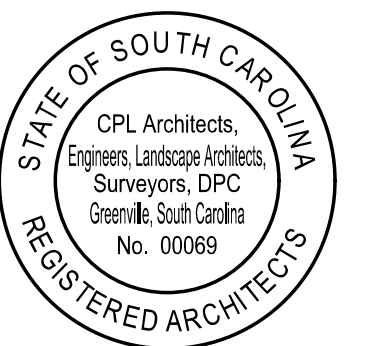
1
C-100 EXISTING CONDITIONS AND DEMOLITION PLAN
SCALE: 1" = 10'

LEGEND

	SAWCUT, DEMOLISH, REMOVE AND LEGALLY DISPOSE OF CONCRETE PAVEMENT
	SAWCUT, DEMOLISH, REMOVE* AND LEGALLY DISPOSE OF ASPHALT PAVEMENT *BID ALTERNATE FOR VARIABLE DEPTH MILLING ACCEPTABLE
	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF CONCRETE CURB
	TYPE A FILTER FABRIC INLET PROTECTION
	DEMOLISH AND REMOVE HC RAMP AND RAILING
	REMOVE EXISTING HANDICAP SIGNS/POSTS, SIGNS TO BE RELOCATED AS SHOWN ON SHEET C-200

- DEMOLITION NOTES:**
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES WITHOUT INTERFERING WITH VEHICLE AND PEDESTRIAN TRAFFIC IN ADJACENT AREAS.
 - CONTRACTOR SHALL PROTECT UTILITIES AND BENCHMARKS NOT SCHEDULED FOR DEMOLITION FROM DAMAGE. AT NO ADDITIONAL COST TO OWNER, THE CONTRACTOR SHALL REPLACE OR REPAIR ITEMS DAMAGED BEYOND THE LIMITS OF THE DEMOLITION SHOWN.
 - DISCONNECT AND SEAL OFF ABANDONED UTILITIES TO BE REMOVED PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES. UTILITIES SHALL BE DISCONNECTED BELOW EXISTING GRADE LEVEL OR OUTSIDE OF CONTRACT LIMITS BY REPRESENTATIVES OF THE PUBLIC UTILITY BEING DISCONNECTED. MAINTAIN UTILITY SERVICE TO FACILITIES IN USE.
 - EXCEPT FOR ITEMS DESIGNATED TO BE REMOVED OR REUSED IN THE WORK, ALL MATERIALS RESULTING FROM THIS WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE PROMPTLY REMOVED FROM THE SITE. STORAGE OR SALE OF REMOVED MATERIALS WILL NOT BE PERMITTED ON PROJECT SITE.
 - REMOVE ALL DEBRIS, RUBBISH, AND WASTE MATERIALS FROM THE SITE. DO NOT STOCKPILE DEBRIS ON SITE.
 - ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
 - ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION PER THE EROSION AND SEDIMENT CONTROL PLAN.
 - ALL TREES TO REMAIN SHALL HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATES OTHERWISE.
 - DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN THE STREET AND TREE PROTECTION AREA.
 - SAWCUT PAVEMENTS, CURBS, AND/OR WALLS WHOLE TO PROVIDE SMOOTH TRANSITION BETWEEN IMPROVEMENTS TO REMAIN & NEW IMPROVEMENTS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE OF TRAFFIC AND MUST SUBMIT A MAINTENANCE OF TRAFFIC PLAN PRIOR TO STARTING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY BARRIER, METHOD 2 (PER GDOT.) PROVIDE LOCATIONS OF TEMPORARY BARRIERS ON THE MAINTENANCE OF TRAFFIC PLAN.

PROFESSIONAL STAMPS



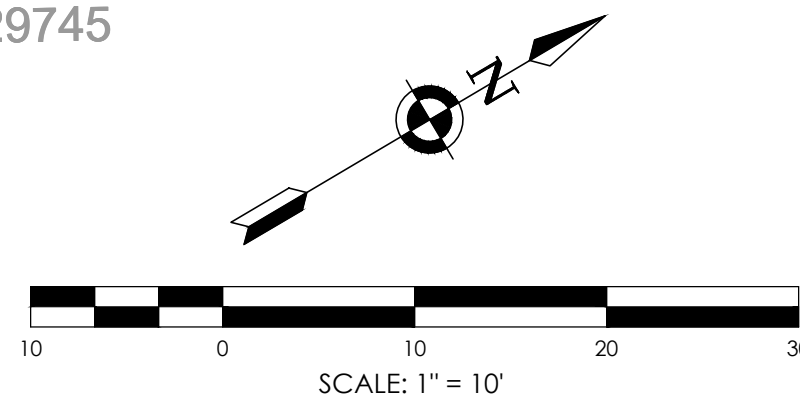
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Checked By: CPL
Drawing Title: EXISTING CONDITIONS AND DEMOLITION PLAN

Drawing Number: YCO C100

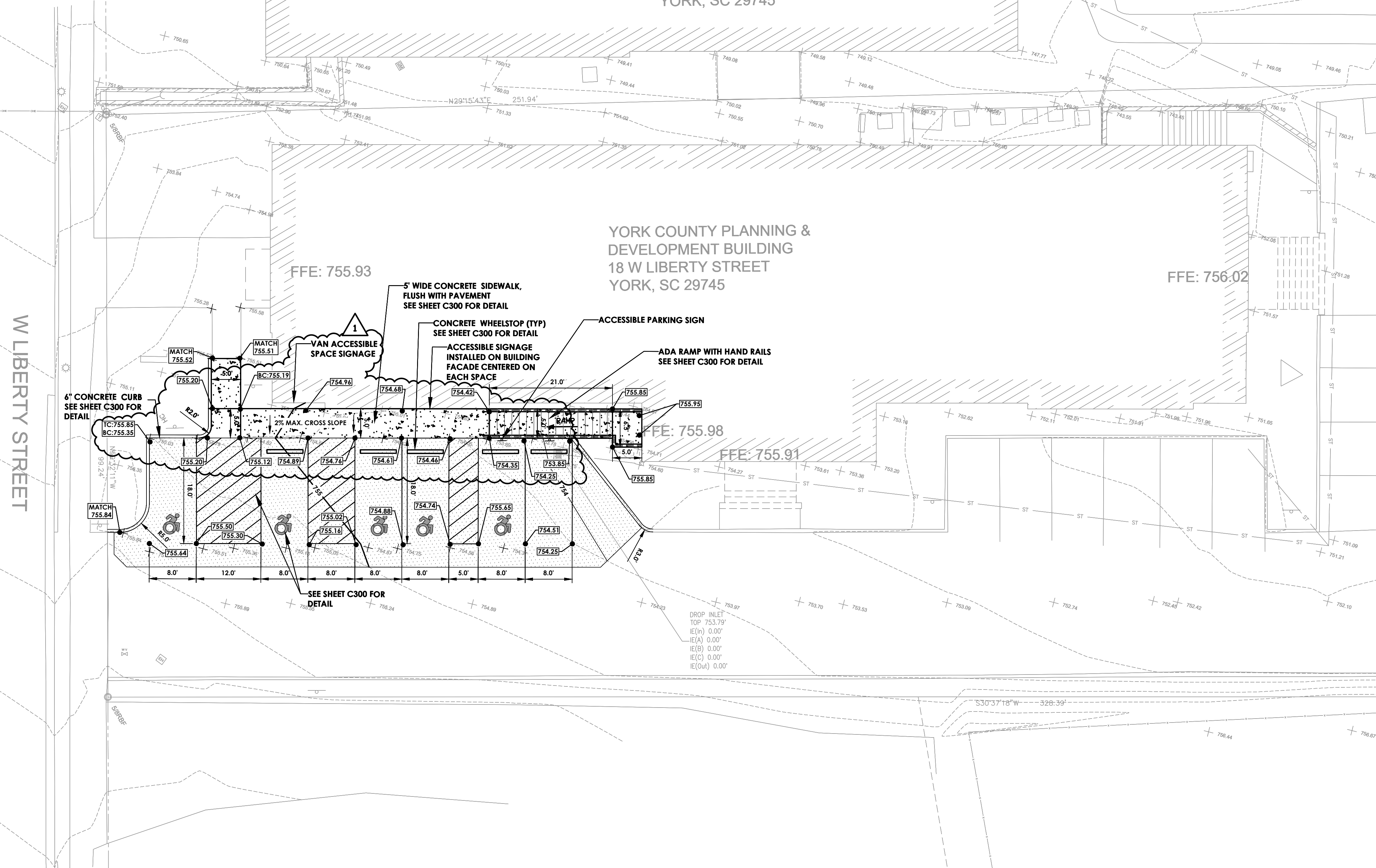
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26 W LIBERTY STREET
YORK, SC 29745

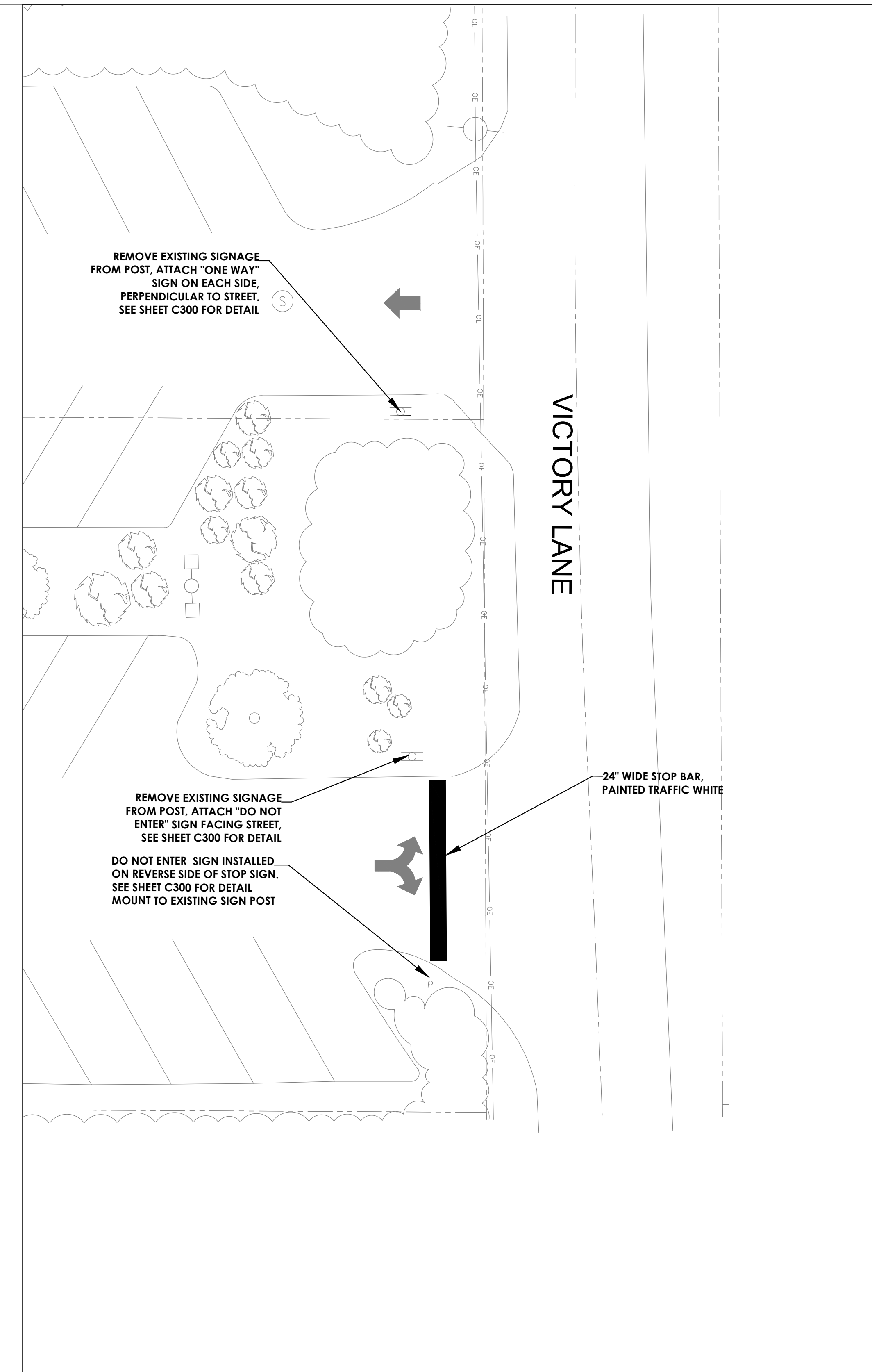


20 W LIBERTY STREET
YORK, SC 29745

YORK COUNTY PLANNING &
DEVELOPMENT BUILDING
18 W LIBERTY STREET
YORK, SC 29745



1 PROPOSED SITE PLAN - LIBERTY STREET ENTRANCE
SCALE: 1" = 10'



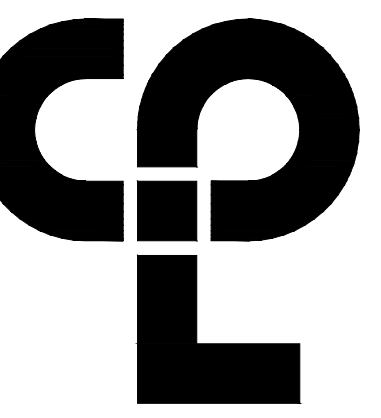
2 PROPOSED SITE PLAN - VICTORY LANE ENTRANCE
SCALE: 1" = 10'

LEGEND

- PROPOSED CONCRETE SIDEWALK SHEET C-200
- PROPOSED ASPHALT PAVEMENT SHEET C-200
- PROPOSED 6" CONCRETE CURB

SITE NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CITY OF YORK, YORK COUNTY AND SOUTH CAROLINA REGULATIONS, CODES AND O.S.H.A. STANDARDS.
2. PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS PER F.E.M.A. FLOOD INSURANCE MAP PANEL NUMBER 45091C0276E DATED 9/28/2008.
3. ALL DIMENSIONS SHOWN ARE TO FACE OF BUILDING, TO FACE OF CURB, TO CENTERLINE OF STRIPING, TO PROPERTY LINE OR CORNER, UNLESS OTHERWISE NOTED.
4. JOINT SEALANTS SHALL BE INSTALLED FOR ALL EXPANSION JOINTS IN PAVERS SET WITH MORTAR, CAST-IN-PLACE CONCRETE, JOINTS BETWEEN DIFFERING MATERIALS, BETWEEN CURBS AND SIDEWALK, BETWEEN EXISTING AND PROPOSED CONCRETE PAVEMENTS, CONTROL AND EXPANSION JOINTS IN CAST-IN-PLACE CONCRETE, CONTROL AND EXPANSION JOINTS IN UNIT MASONRY AND JOINTS IN MASONRY. PLASTIC ZIP CAPS SHALL BE REMOVED BEFORE SEALANT IS APPLIED.
5. ALL MATERIAL SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT. THE EXCEPTIONS ARE AS FOLLOWS: SOME EXISTING LUMINARIES ARE TO BE RELOCATED. GATE, GATE MOTOR AND KEYPAD ARE TO BE RELOCATED.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE PROJECT IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM IN WRITING TO THE ENGINEER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WRITTEN CLARIFICATION FROM THE ENGINEER OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK IN QUESTION OR OTHER RELATED WORK.
7. ALL SITE WORK CONCRETE SHALL BE MINIMUM 4000 PSI 28 DAY STRENGTH.
8. CONCRETE SCORE LINES SHALL BE EQUALLY SPACED WITHIN EACH CONCRETE PANEL, AT NO FURTHER THAN 6' MAXIMUM SPACING, AND AS CLOSE TO 4'X4' JOINTING AS POSSIBLE. SEE PLANS FOR TYPICAL LOCATIONS.
9. AS SOON AS CONCRETE HAS BEEN FLOATED LEVEL AND SMOOTH AND HAS BEGUN TO SET UP, APPLY A LIGHT BROOM FINISH IN A CONSISTENT DIRECTION PERPENDICULAR TO THE DIRECTION OF PRIMARY PEDESTRIAN TRAVEL.
10. ALL EXPANSION JOINTS ARE 1/2" PREMOULDED BITUMINOUS ASPHALT WITH A BACKER ROD AND JOINT SEALER.
11. CONCRETE CRACK CONTROL JOINTS SHALL BE SAWCUT. SAWCUTTING MUST OCCUR THE SAME DAY THE CONCRETE IS POURED AND AS SOON AS IT CAN SUPPORT THE WEIGHT OF A PERSON WITH A SAW. PRIOR TO SAWCUTTING, CONTRACTOR SHALL CHALK LAYOUT JOINTS. CONTRACTOR SHALL SUBMIT SAWCUT PLAN TO ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
12. ALL EXPANSION AND CONTROL JOINTS SHALL ALIGN WHEREVER PROPOSED WORK MEETS EXISTING.
13. ALL ACCESSIBLE RAMPS SHALL HAVE DETECTABLE WARNING SURFACES MEETING GDOT SPECIFICATIONS.
14. EROSION, SEDIMENT & POLLUTION CONTROL MEASURES SHALL BE ERRECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITY AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION UNTIL PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED. CLEAN OUT AND REMOVE ALL ACCUMULATED SILT AND SEDIMENT WHENEVER SAID DEVICES ARE HALF FULL.
15. ALL CONSTRUCTION SURVEYING (INCLUDING LAYOUT) SHALL BE PERFORMED BY A LAND SURVEYOR WITH A CURRENT REGISTRATION AND LICENSURE IN THE STATE OF GEORGIA. CONTRACTOR REQUIRED TO OBTAIN CERTIFIED AS-BUILTS OF LIGHT POLE BASE LOCATIONS AND BOLT PATTERNS AND CONFIRM WITH MANUFACTURER.



CPL | Architecture Engineering Planning
325 W. McBee Avenue, Suite 300
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PROJECT ISSUE & REVISION SCHEDULE

1 8/14/24 REV1 - PLAN REVIEW COMMENTS

PROFESSIONAL STAMPS



SHEET INFORMATION

Issue: 4/14/2024 Scale: 1" = 10'
Project Status: 100% CONSTRUCTION DOCUMENTS
Drawn By: CPL Created By: CPL
Drawing Title: SITE AND GRADING PLAN

Drawing Number:

YCO
C200

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 Date last plotted: 5/17/2024 11:29 AM
 Plotted By: Matt Strunk

PROJECT INFORMATION

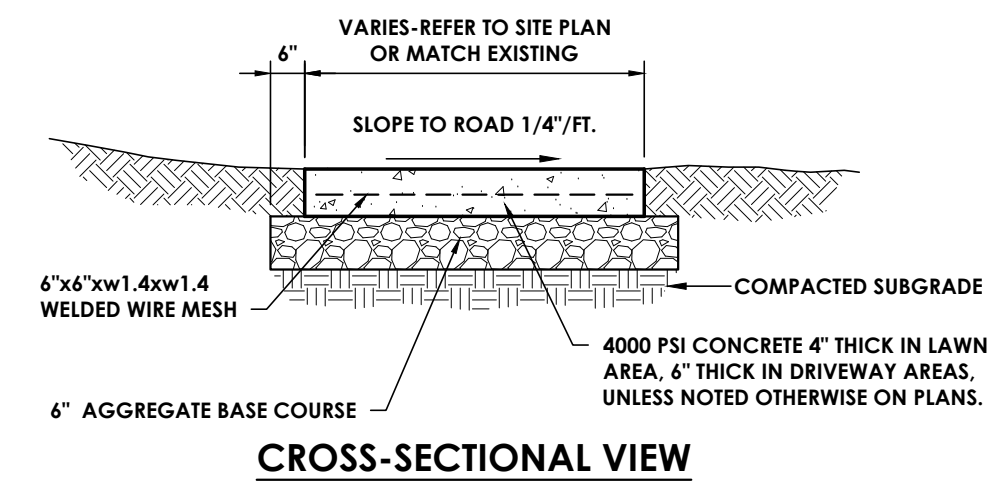
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PLANNING DEPARTMENT RENOVATION

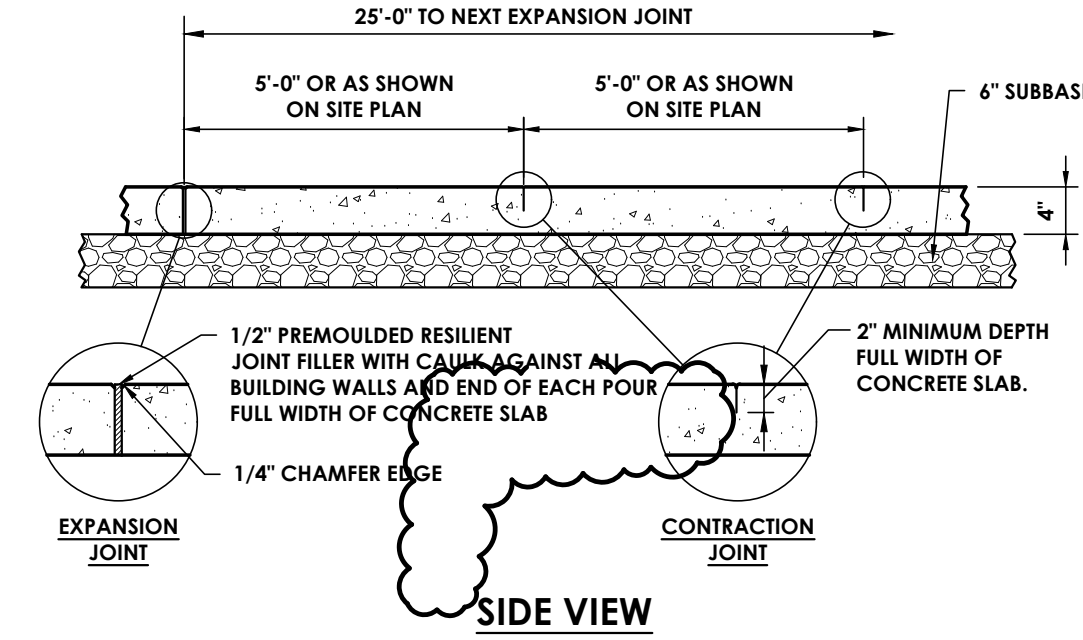
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PROJECT ISSUE & REVISION SCHEDULE

No. Date Description
1 8/14/24 REV1 - PLAN REVIEW COMMENTS

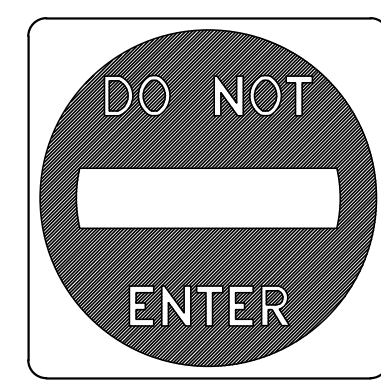


CROSS-SECTIONAL VIEW



SIDE VIEW

TYPICAL CONCRETE SIDEWALK
N.T.S.



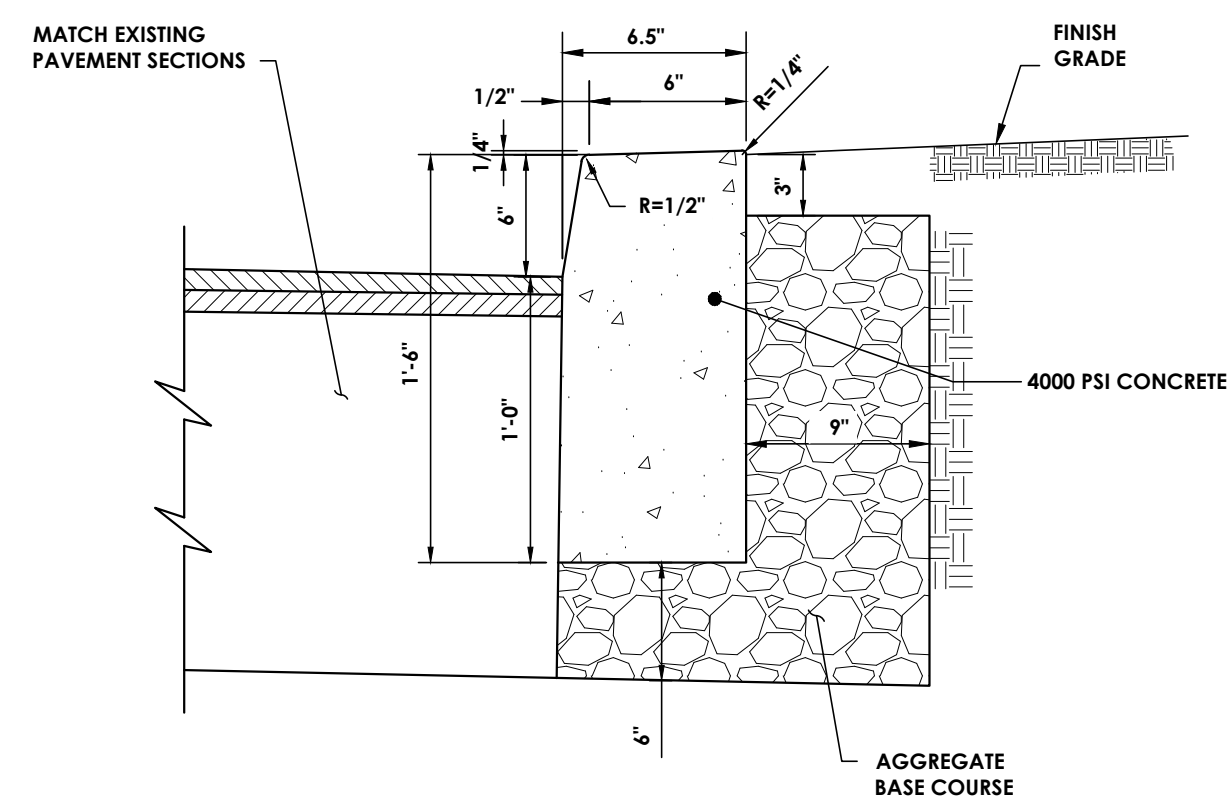
W3-3



R3-12

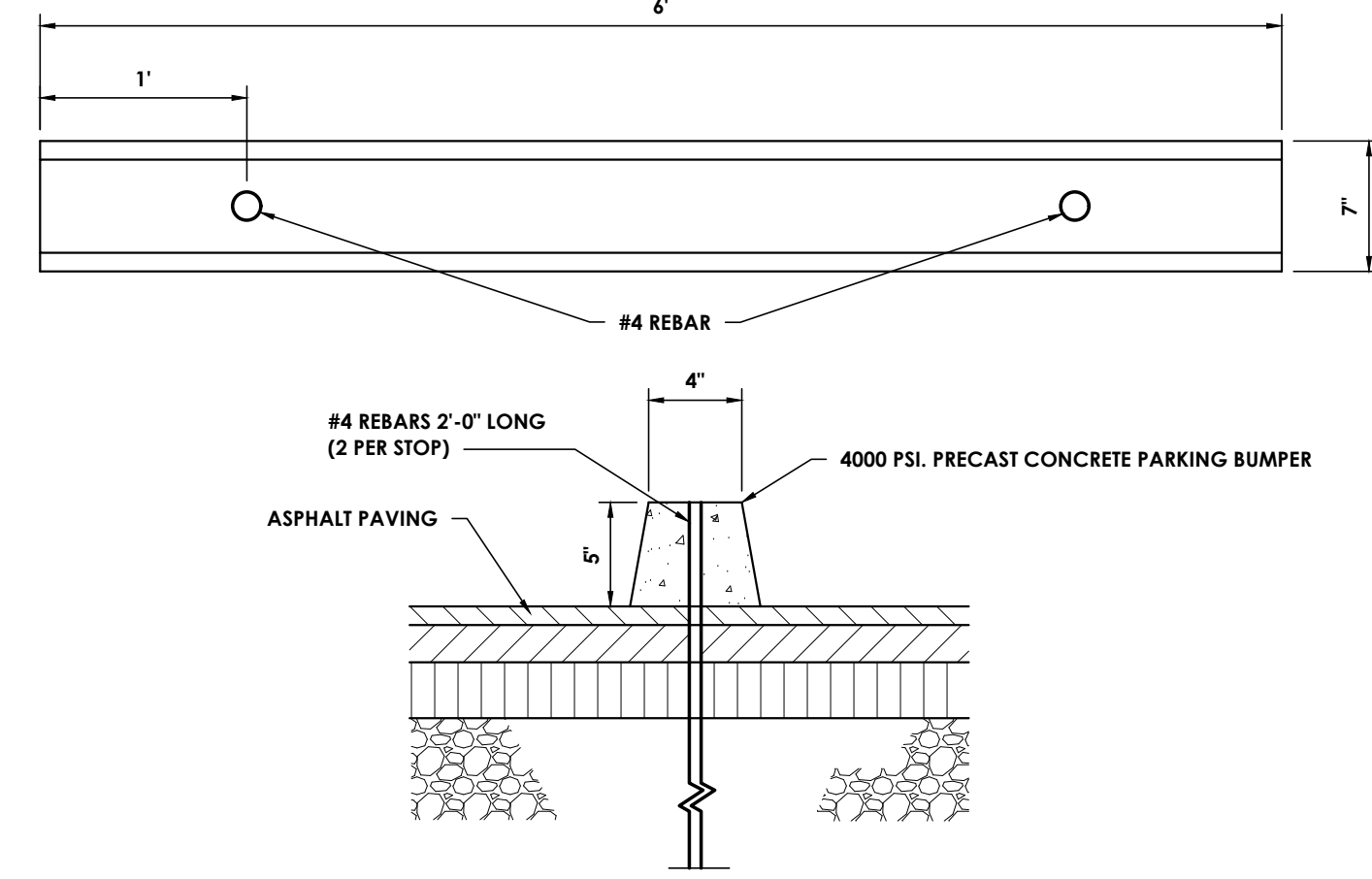
NOTE:
ALL SIGN DESIGNATION PER "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".

TRAFFIC SIGN DETAIL
N.T.S.



CONCRETE CURB
N.T.S.

- CONTRACTION JOINTS TO BE AT 10 FOOT INTERVALS AND SHALL BE FORMED OR SAW CUT TO A DEPTH OF 1/2 INCH BELOW THE SURFACE OF THE CURB.
- EXPANSION JOINTS TO BE AT 50 FOOT INTERVALS AND SHALL BE FORMED WITH 3/4 INCH WIDE PREMOFORMED BITUMINOUS JOINT FILLER. THE FILLER MATERIAL SHALL BE CUT TO CONFORM TO THE CROSS SECTION OF THE CURB.
- EXPANSION JOINTS AND FORMED CONTRACTION JOINTS ARE TO BE EDGED WITH CONCRETE FINISHING TOOLS.
- CONCRETE SEALING AGENT SHALL BE APPLIED THE SAME DAY THAT CURBS ARE CONSTRUCTED.



6' PRECAST CONCRETE PARKING BUMPER
N.T.S.

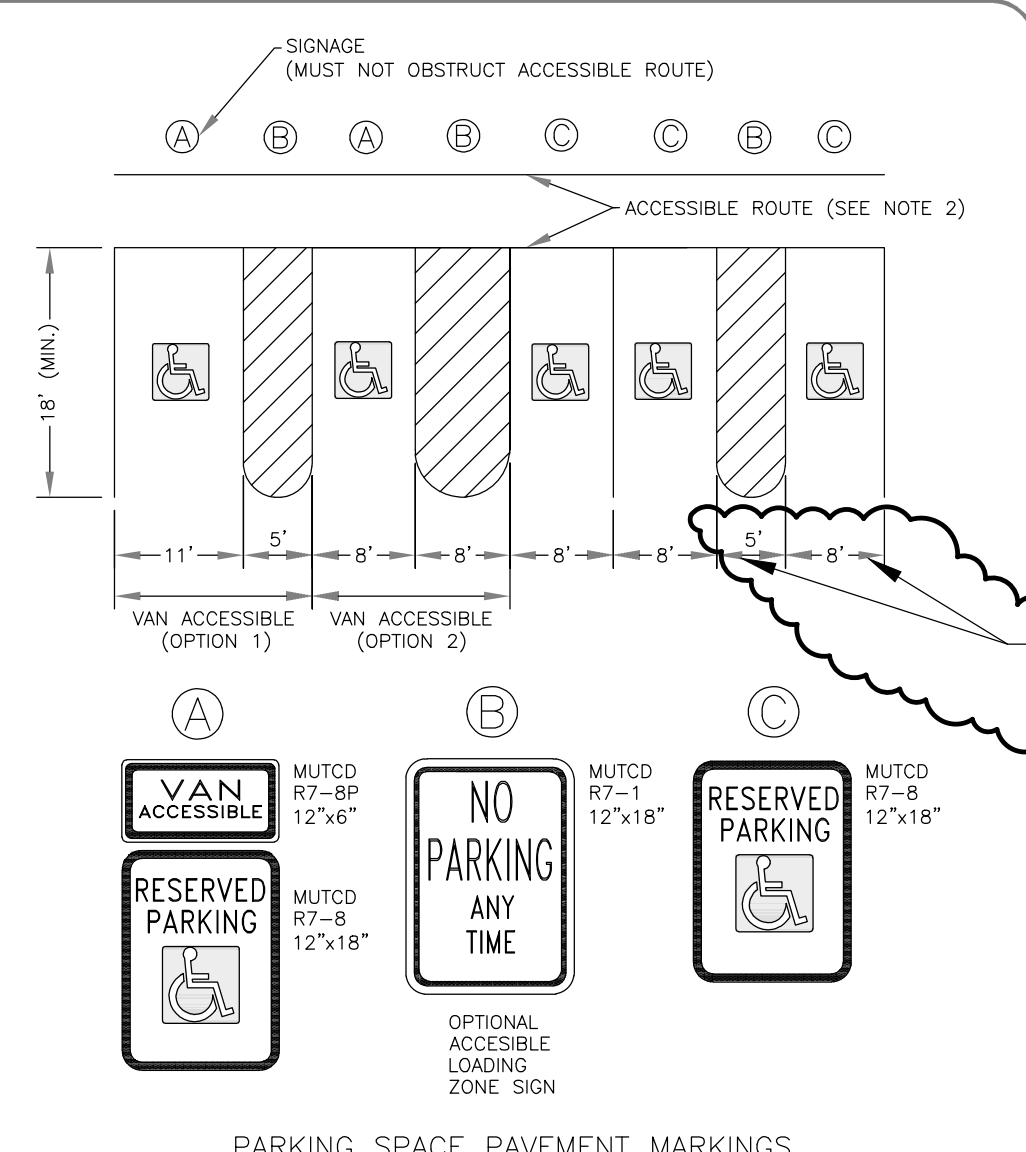
TOTAL PARKING SPACES PROVIDED	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	REQUIRED MINIMUM NUMBER OF VAN ACCESSIBLE SPACES REQUIRED
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 250	7	2
251 TO 300	8	2
301 TO 500	9	2
501 TO 1,000	2% OF TOTAL	1 PER EVERY 6 ACCESSIBLE SPACES
1,001 AND EVER	2% PLUS ONE PER EACH 100, BUT NOT MORE THAN ONE PER 500	1 PER EVERY 6 ACCESSIBLE SPACES

- NOTES:**
- ALL ACCESSIBLE SIGNS (R7-BP, R7-B, R7-1, ETC.) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (PER MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
 - IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA. MINIMUM 4" WIDE CONTINUOUS PASSAGE.
 - VERTICAL CLEARANCE FOR VANS MUST BE GREATER THAN 98-INCHES.
 - THIS DETAIL IS TO PROVIDE GENERAL GUIDANCE FOR PARKING LAYOUT AND DESIGN. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT AND SC BUILDING CODE FOR ADDITIONAL INFORMATION.

YORK COUNTY LAND DEVELOPMENT STANDARDS

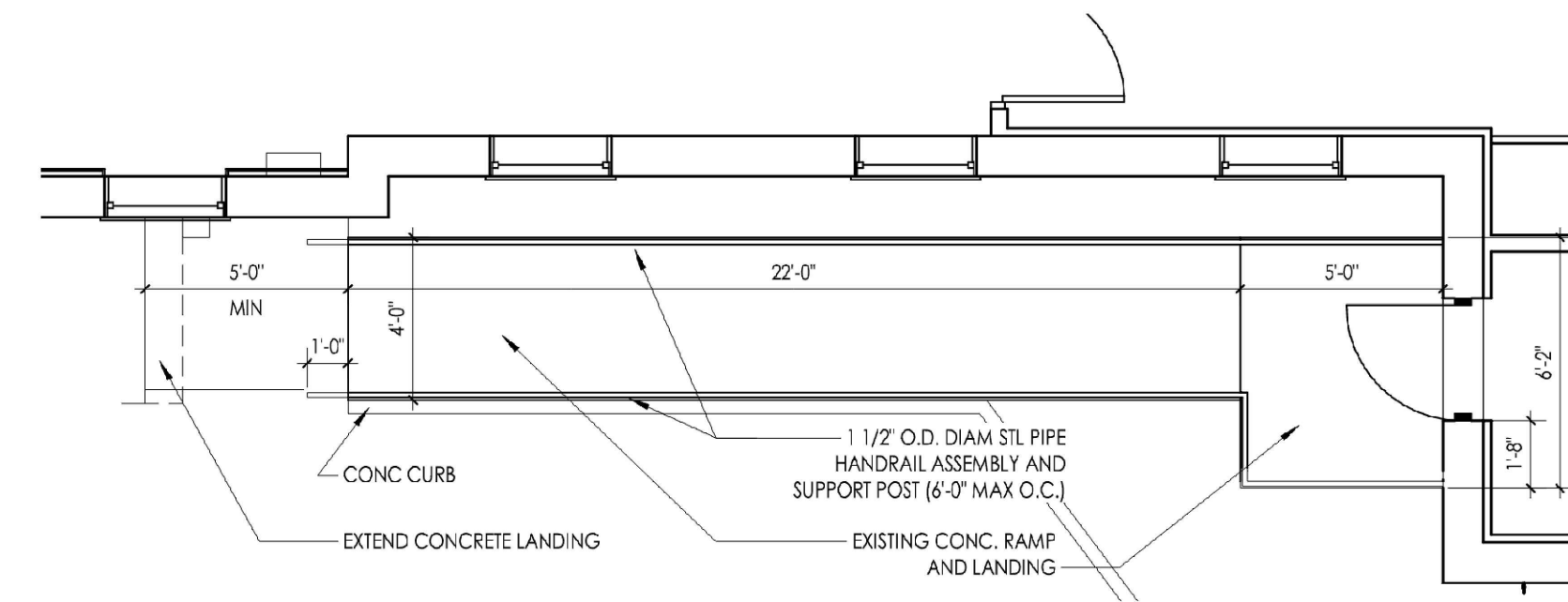
ACCESSIBLE PARKING AND SIGNAGE STANDARDS

NOT TO SCALE

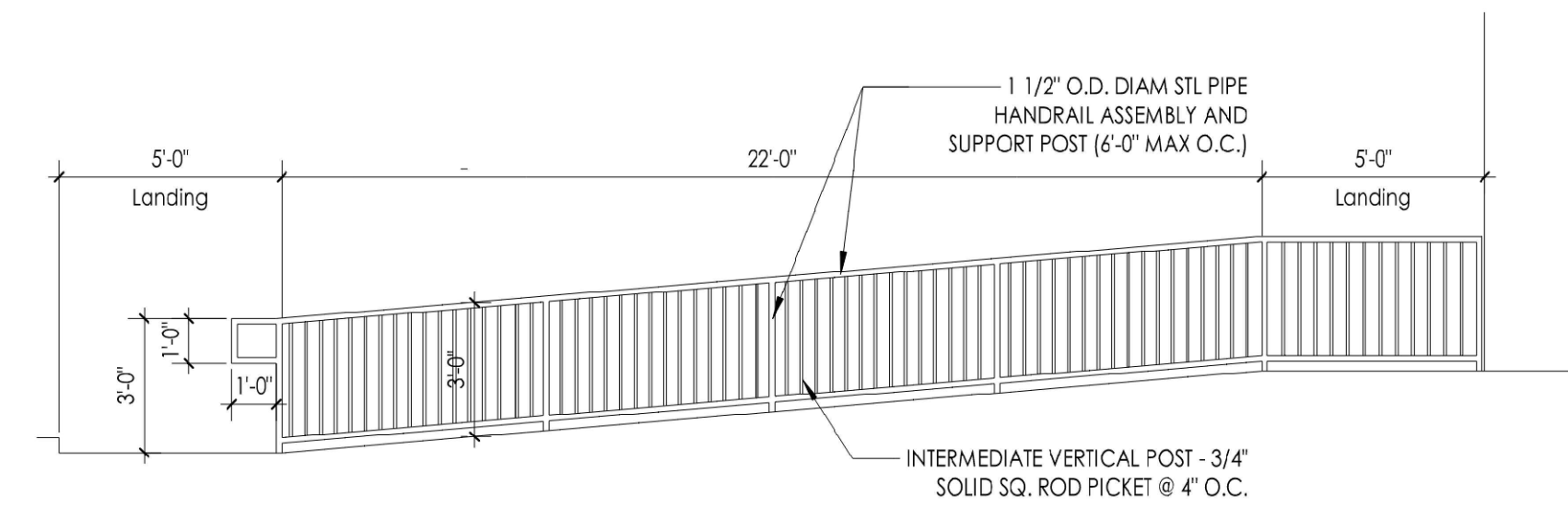


DIMENSIONS SHOWN ARE MINIMUM REQUIREMENTS. SEE SITE PLAN FOR ACTUAL DIMENSIONS.

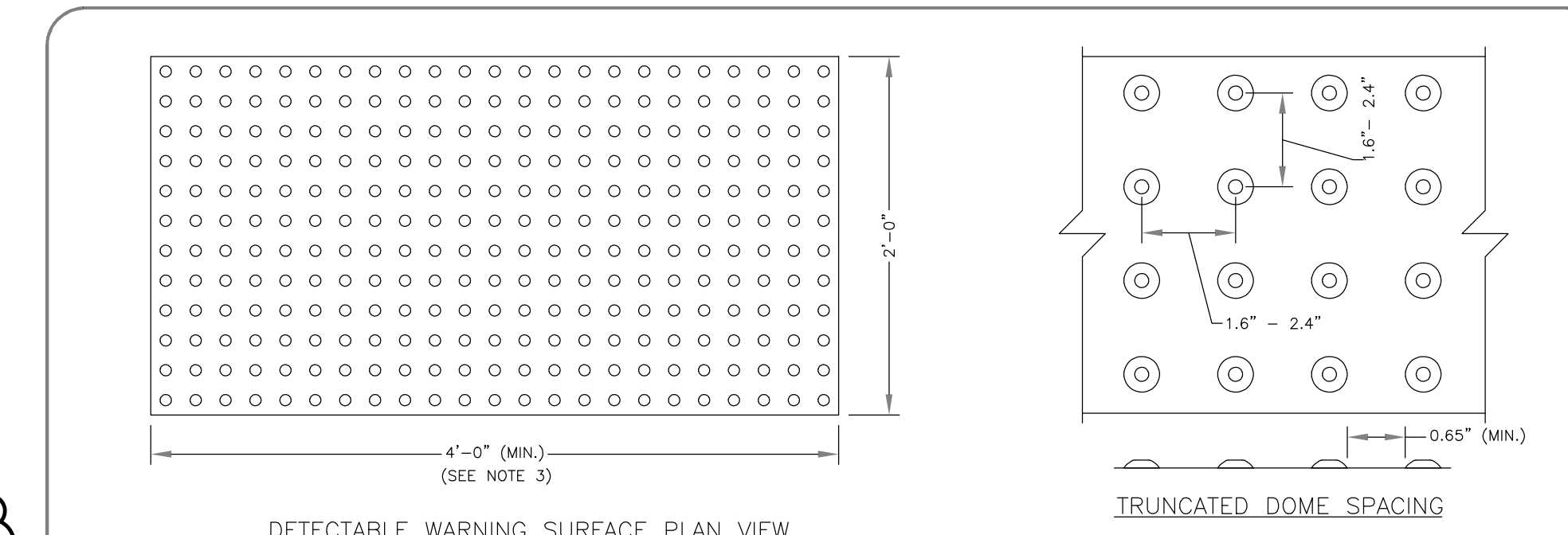
REV. NO. 2.06
REV. DATE 01/21
REV. DATE 08/21



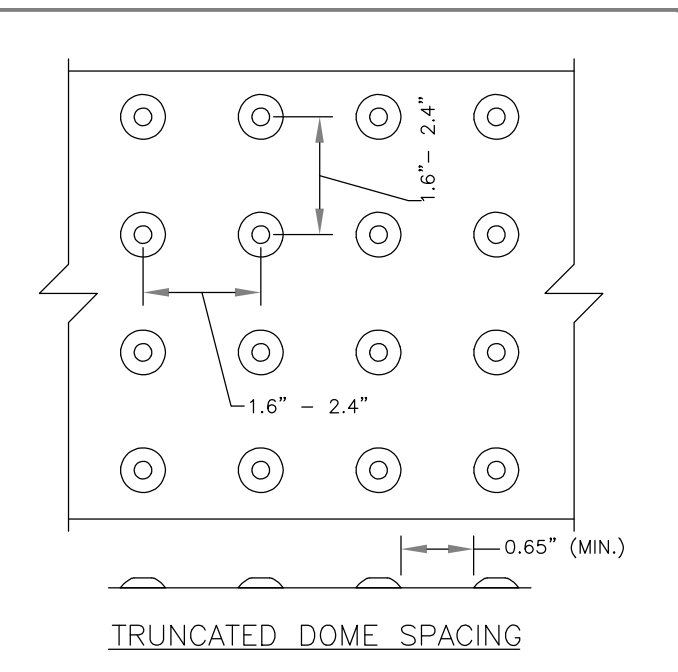
ENLARGED RAMP



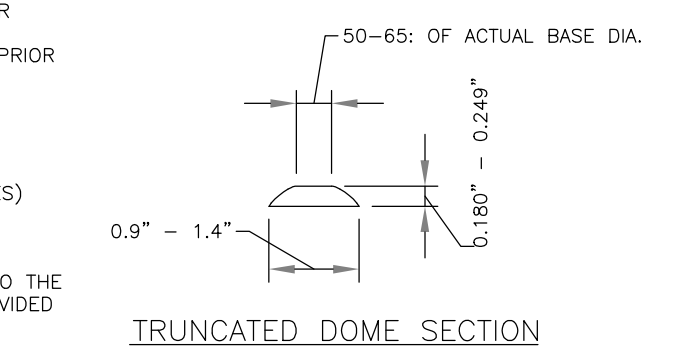
RAMP HANDRAIL



DETECTABLE WARNING SURFACE PLAN VIEW



TRUNCATED DOME SPACING



TRUNCATED DOME SECTION

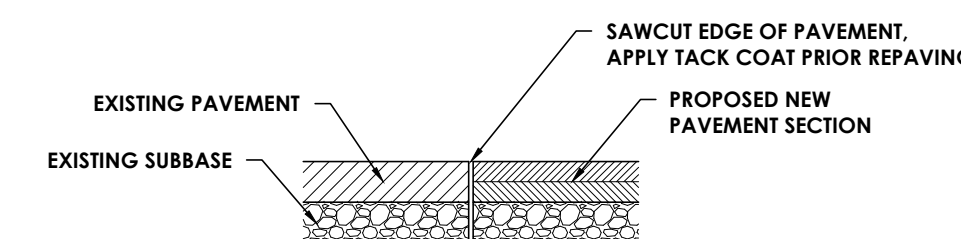
- NOTES:**
- ALL DETECTABLE WARNING SURFACES USED IN NEW CONSTRUCTION SHALL BE OF A YELLOW RIGID PRECAST OR EMBEDDED PRODUCT APPROVED BY YORK COUNTY AND MEETING PROVISIONS OF THE ADA AND ABA ACCESSIBILITY GUIDELINES FOR PUBLIC RIGHTS-OF-WAY. RETROFIT MATS WILL ONLY BE ALLOWED ON EXISTING RAMPS WITH PRIOR APPROVAL OF THE COUNTY ENGINEER FOR MATERIAL TYPE AND INSTALLATION (I.E. RESURFACING).
 - DETECTABLE WARNING SURFACES SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
 - WHERE A SIDEWALK CROSSES A VEHICULAR WAY, EXCLUDING UN-SIGNALIZED DRIVEWAY CROSSINGS.
 - WHERE A RAIL SYSTEM CROSSES A PEDESTRIAN FACILITY THAT IS NOT SHARED WITH VEHICLES.
 - AT ISLANDS AND MEDIANS THAT ARE CUT THROUGH LEVEL WITH THE ROADWAY.
 - DETECTABLE WARNING SURFACES SHALL EXTEND THE FULL WIDTH OF THE RAMP (EXCLUDING ANY FLARED SIDES) PER R202.1.4.
 - DETECTABLE WARNING SURFACES SHALL EXTEND 2.0 FT. MINIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 - DETECTABLE WARNING AREA CAN BE PLACED SQUARE WHERE USED IN A CURB RADIUS.
 - THE ROWS OF TRUNCATED DOMES IN DETECTABLE WARNING SURFACES SHOULD BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP RUN AND THE STREET. WHERE DETECTABLE WARNING SURFACES ARE PROVIDED ON A SURFACE WITH A SLOPE THAT IS LESS THAN 5 PERCENT, DOME ORIENTATION IS LESS CRITICAL.
 - DETECTABLE WARNING AREA SHALL CONTRAST VISUALLY WITH ADJACENT OUTLET, STREET OR HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE.
 - MATS ARE TO BE RIGID WITH TURNED-DOWN EDGES EMBEDDED IN CONCRETE TO ELIMINATE TRIP HAZARD.

YORK COUNTY LAND DEVELOPMENT STANDARDS

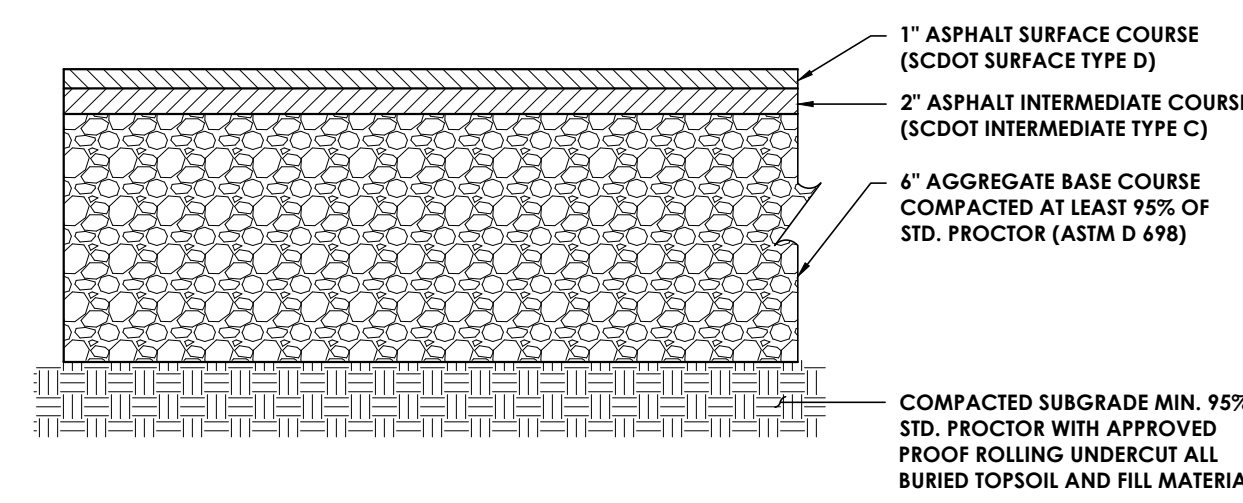
DETECTABLE WARNING SURFACE

NOT TO SCALE

REV. NO. 2.10
REV. DATE 01/21
REV. DATE 02/22



SAWCUT JOINT DETAIL
N.T.S.



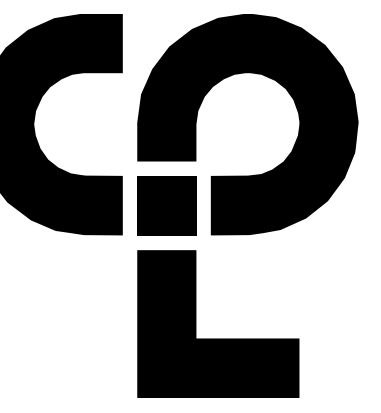
STANDARD DUTY ASPHALT PAVEMENT SECTION
N.T.S.

PROFESSIONAL STAMPS



SHEET INFORMATION

Issue Date: 4/14/2024
Scale: AS NOTED
Project Status: 100% CONSTRUCTION DOCUMENTS
Drawn By: CPL
Checked By: CPL
Drawing Title: SITE CIVIL DETAILS



FLOOR PLAN GENERAL NOTES

- ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF NEW MATERIALS. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- ALL WALL DIMENSIONS INDICATED ON FLOOR PLANS ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE LEFT BROOMED CLEAN AT END OF EACH DAY.
- COORDINATE WITH OTHER TRADES FOR SEQUENCING OF WORK.
- EQUIPMENT SHOWN ON THESE DOCUMENTS ARE FOR REFERENCE ONLY AND ARE FOR COORDINATION OF M.E.P. INFRASTRUCTURE TO OPERATE ITEMS INCLUDED UNDER THE SCOPE.
- PROVIDE CONCRETE FLOOR PATCH AND FLOOR LEVELING AT EXISTING CONCRETE FLOOR FOR NEW FINISHES.
- HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS PER IBC 1607.9

FLOOR PLAN LEGEND

NOTE: THE LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THE PROJECT.

- (W1) WINDOW TARGET, SEE SCHEDULE
- (1) COLUMN LINE IDENTIFICATION
- ROOM NAME
1234
100 SF
10'-0" x 10'-0"
- XXX DENOTES CHANGE IN FLOOR MATERIAL
- (WH) WATER HEATER/ AIR HANDLER, SEE MECHANICAL DRAWINGS
- (1) SECTION MARK
- (A201) INTERIOR ELEVATION MARK
- (A301) EXTERIOR ELEVATION MARK
- (1) DETAIL FOR REFERENCE MARK

PROJECT INFORMATION

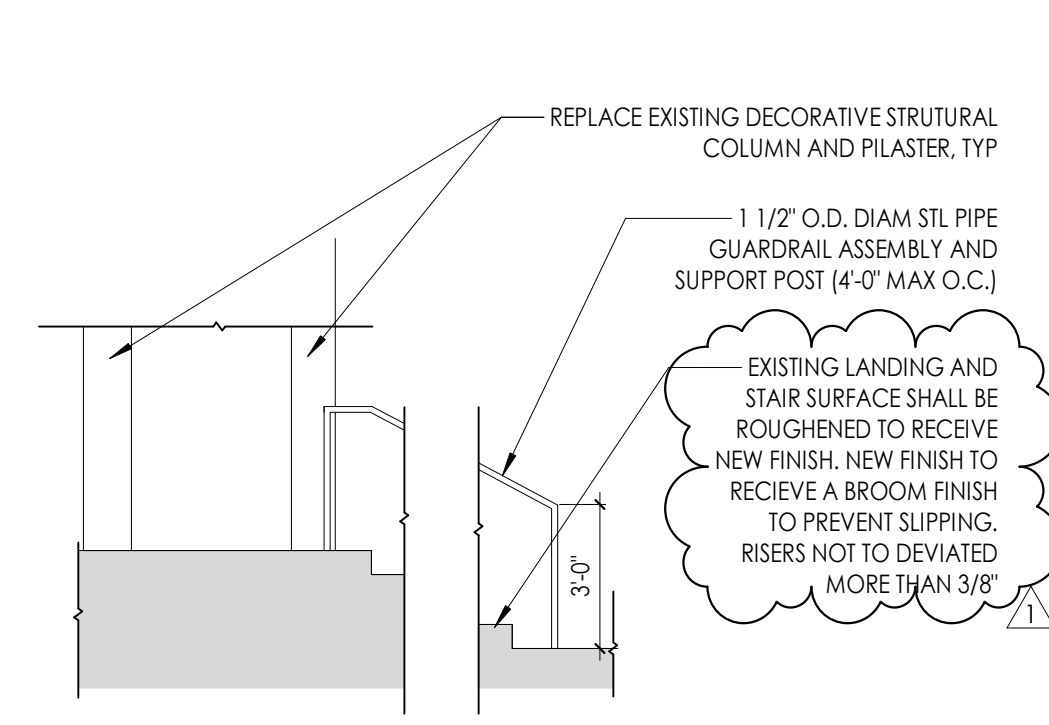
Project Number
R23.00292.00
Client Name
YORK COUNTY

PLANNING DEPARTMENT RENOVATION

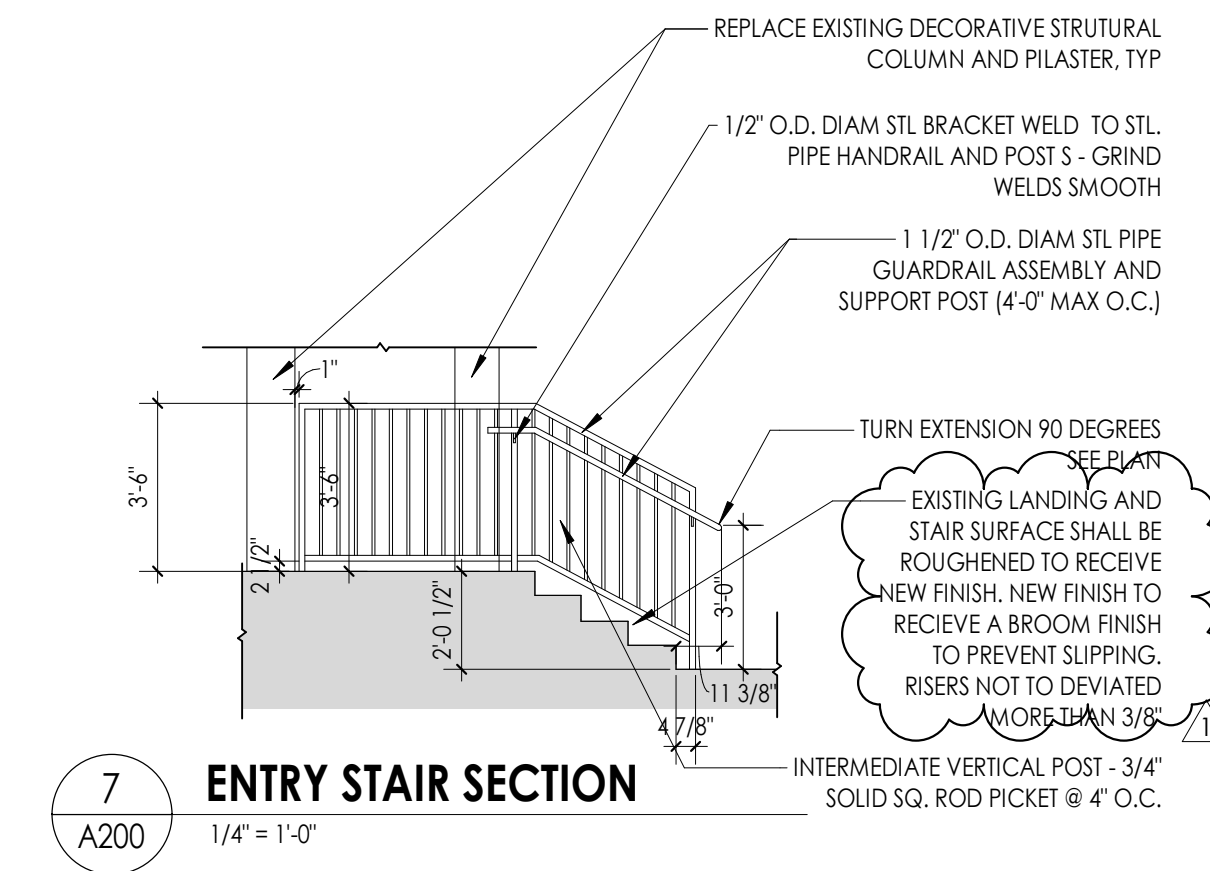
Project Address
18 LIBERTY STREET, YORK, SC

PROJECT ISSUE & REVISION SCHEDULE

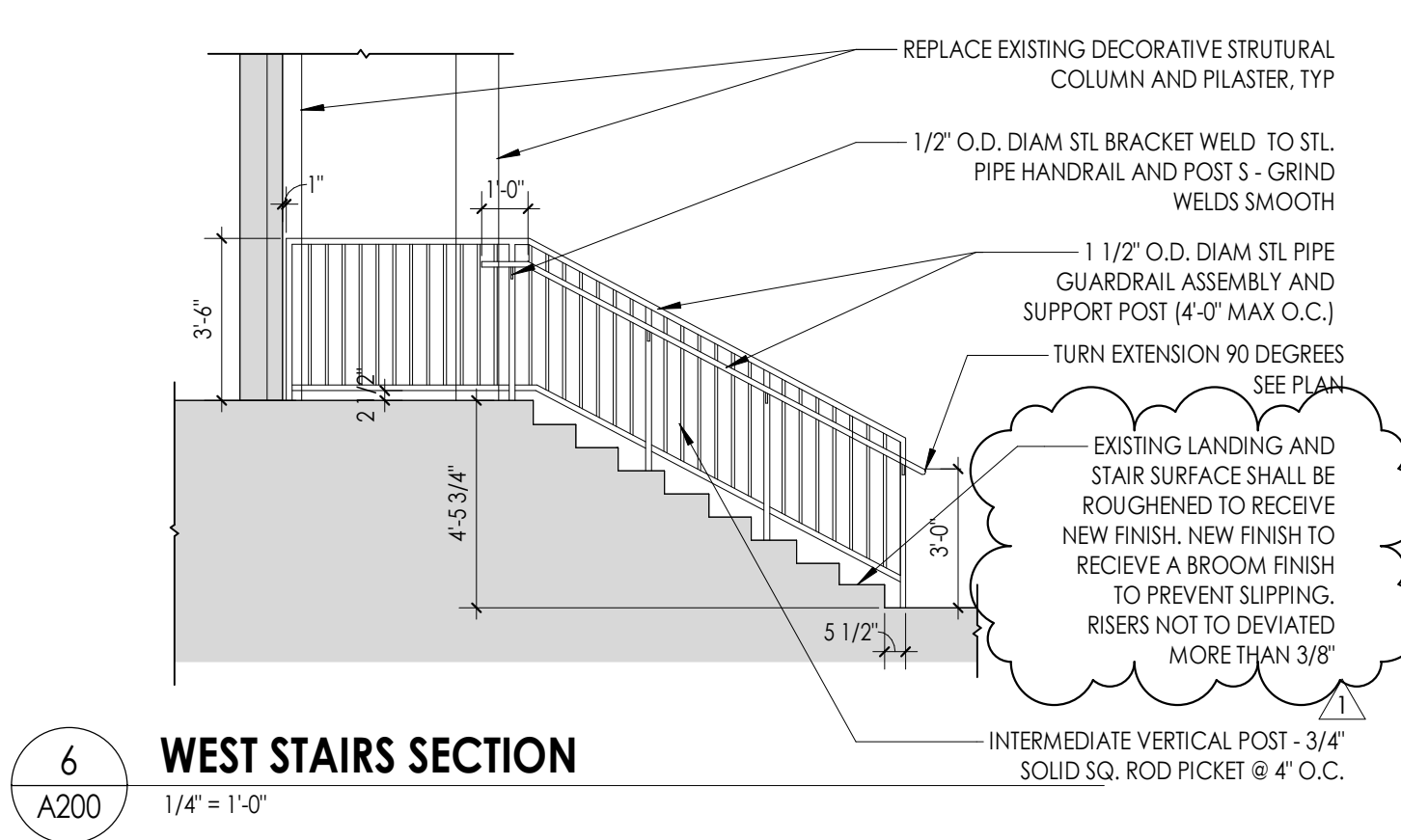
Issue No.	Date	Description
1	5/16/2024	Plan Review Comments



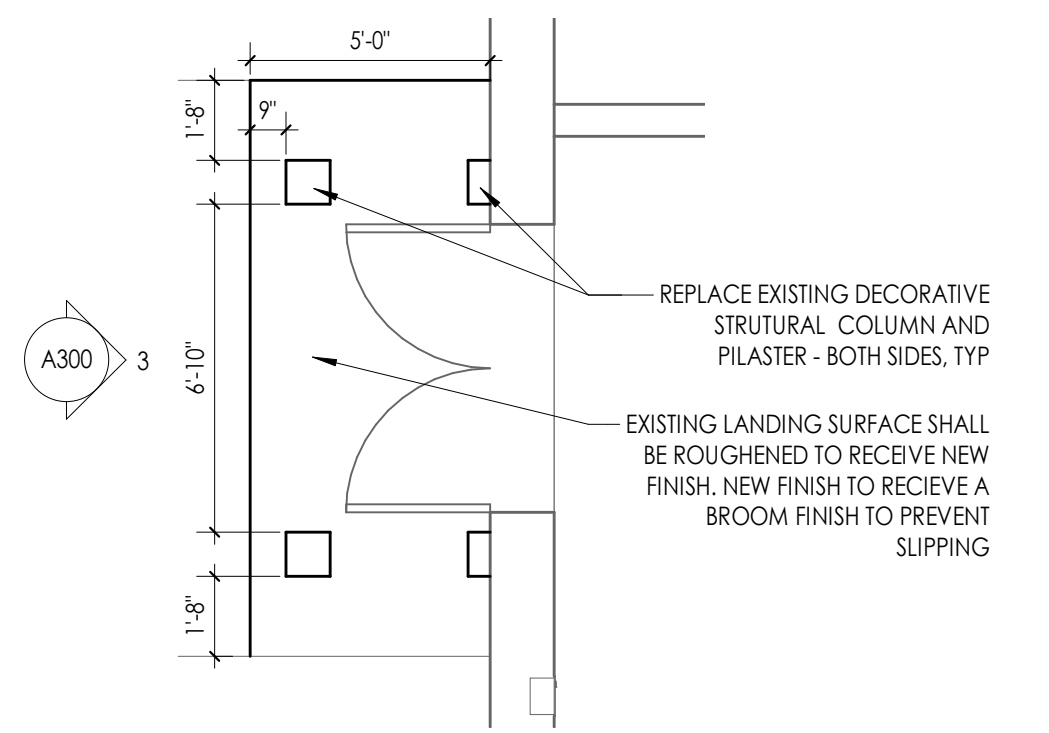
4 TYP. INTERMEDIATE STAIR RAIL SECTION
1/4" = 1'-0"



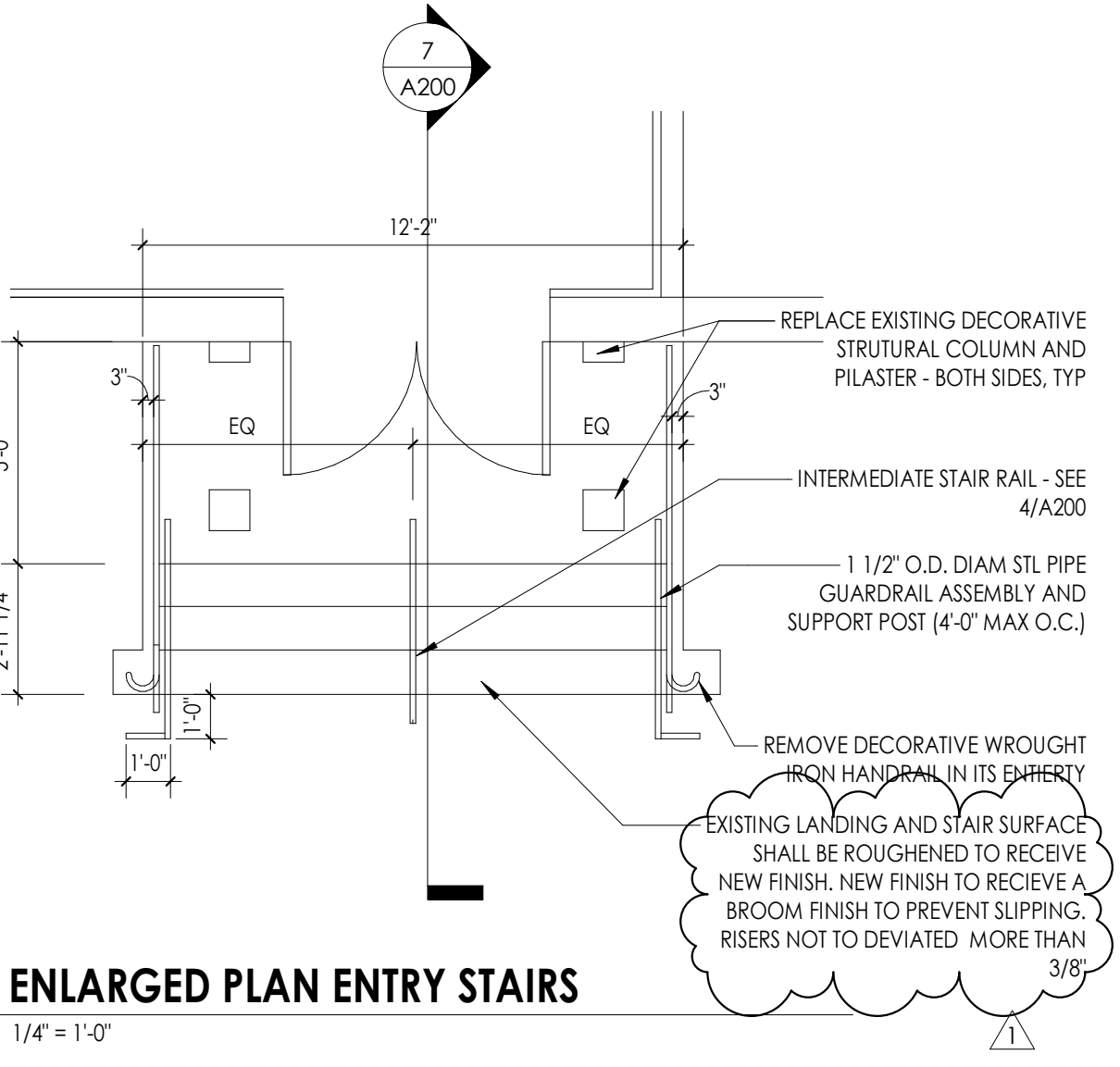
7 ENTRY STAIR SECTION
1/4" = 1'-0"



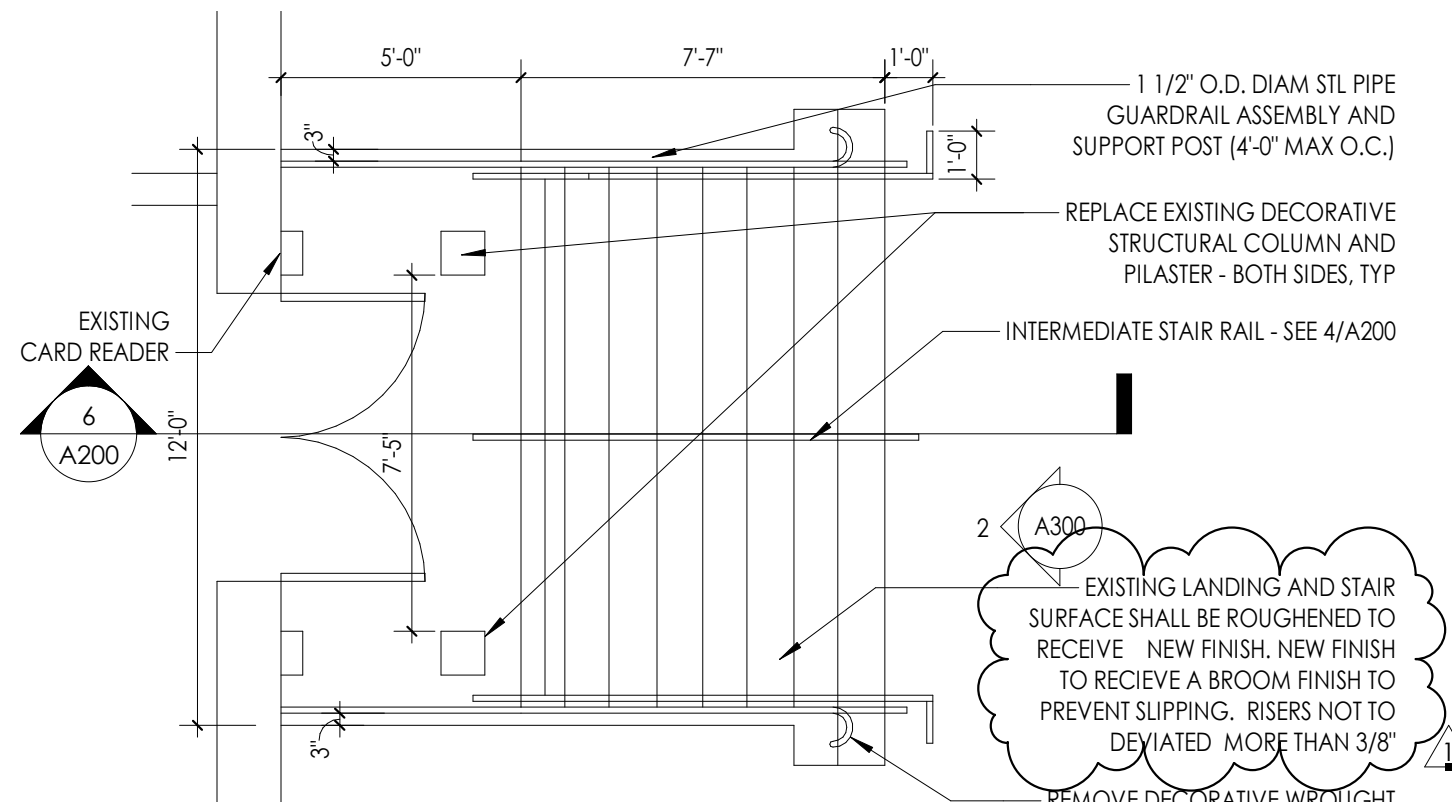
6 WEST STAIRS SECTION
1/4" = 1'-0"



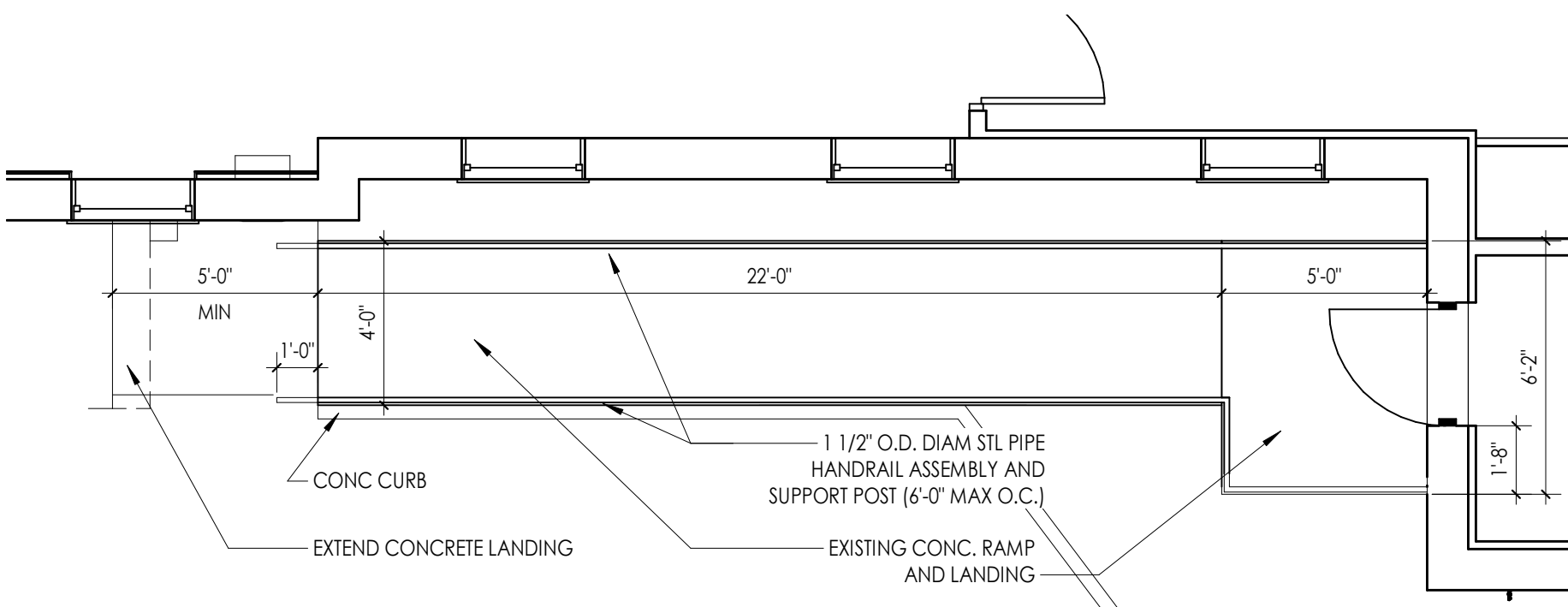
5 ENLARGED PLAN WEST ENTRANCE
1/4" = 1'-0"



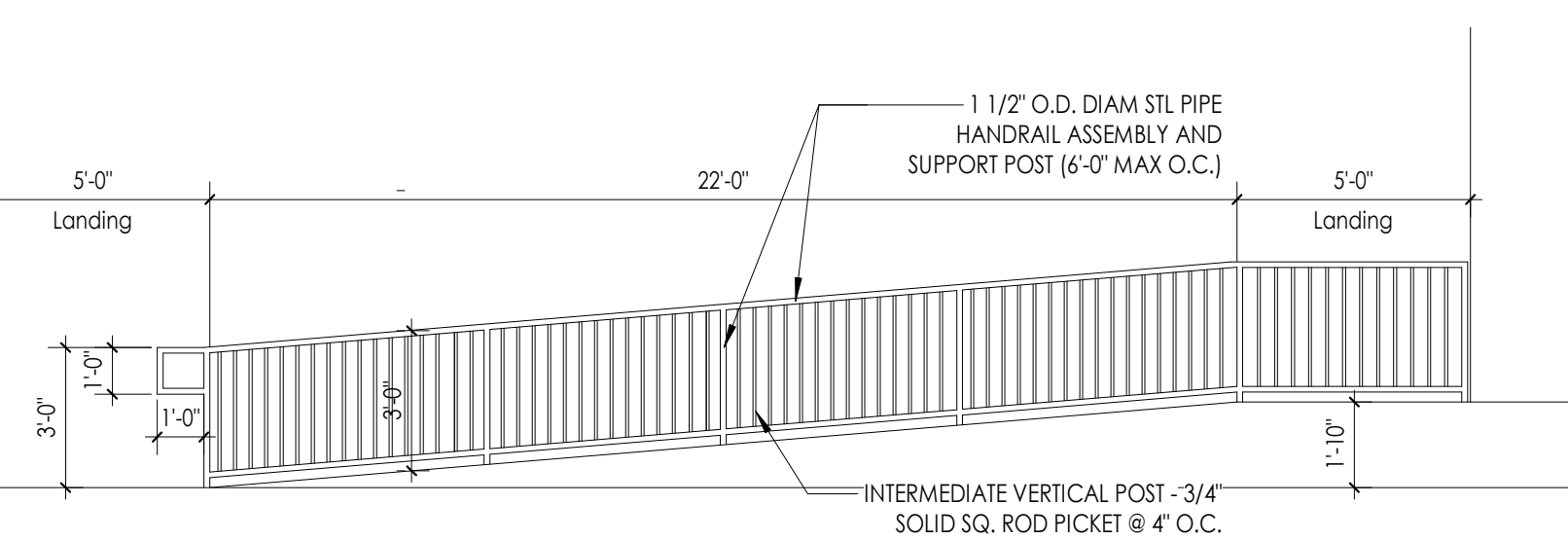
3 ENLARGED PLAN ENTRY STAIRS
1/4" = 1'-0"



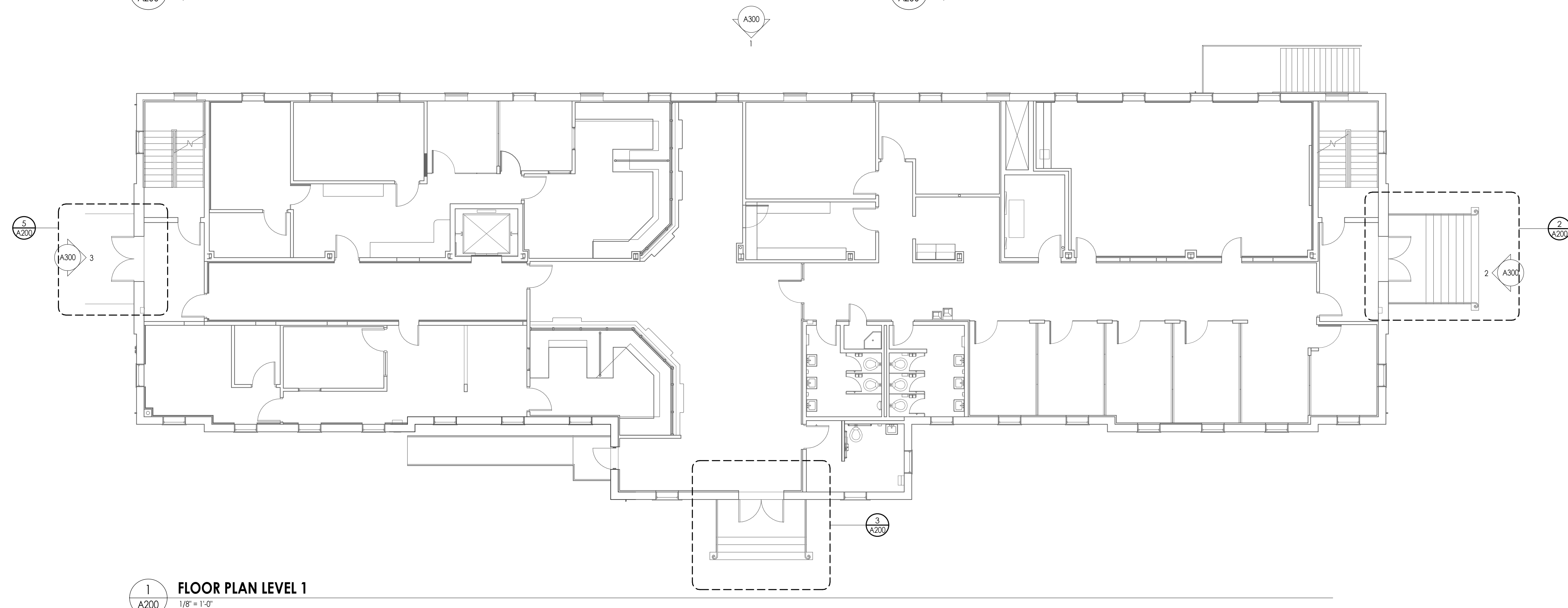
2 ENLARGED PLAN EAST STAIRS
1/4" = 1'-0"



8 ENLARGED RAMP PLAN
1/4" = 1'-0"



9 RAMP HAND RAIL DETAIL
1/4" = 1'-0"



1 FLOOR PLAN LEVEL 1
1/8" = 1'-0"

PROFESSIONAL STAMPS



SHEET INFORMATION

Issue: 04/16/2024
Scale: As indicated
Project Status: 100% CONSTRUCTION DOCUMENTS
Drawn By: EAM
Checked By: RFN
Drawing Title: FLOOR PLAN AND ENLARGED FLOOR PLANS
Drawing Number: -

ELEVATION GENERAL NOTES

- RENOVATION PROJECTS: ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- RENOVATION PROJECTS: MASONRY OPENINGS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS.

PROJECT INFORMATION

Project Number: R23.00292.00
 Client Name: YORK COUNTY

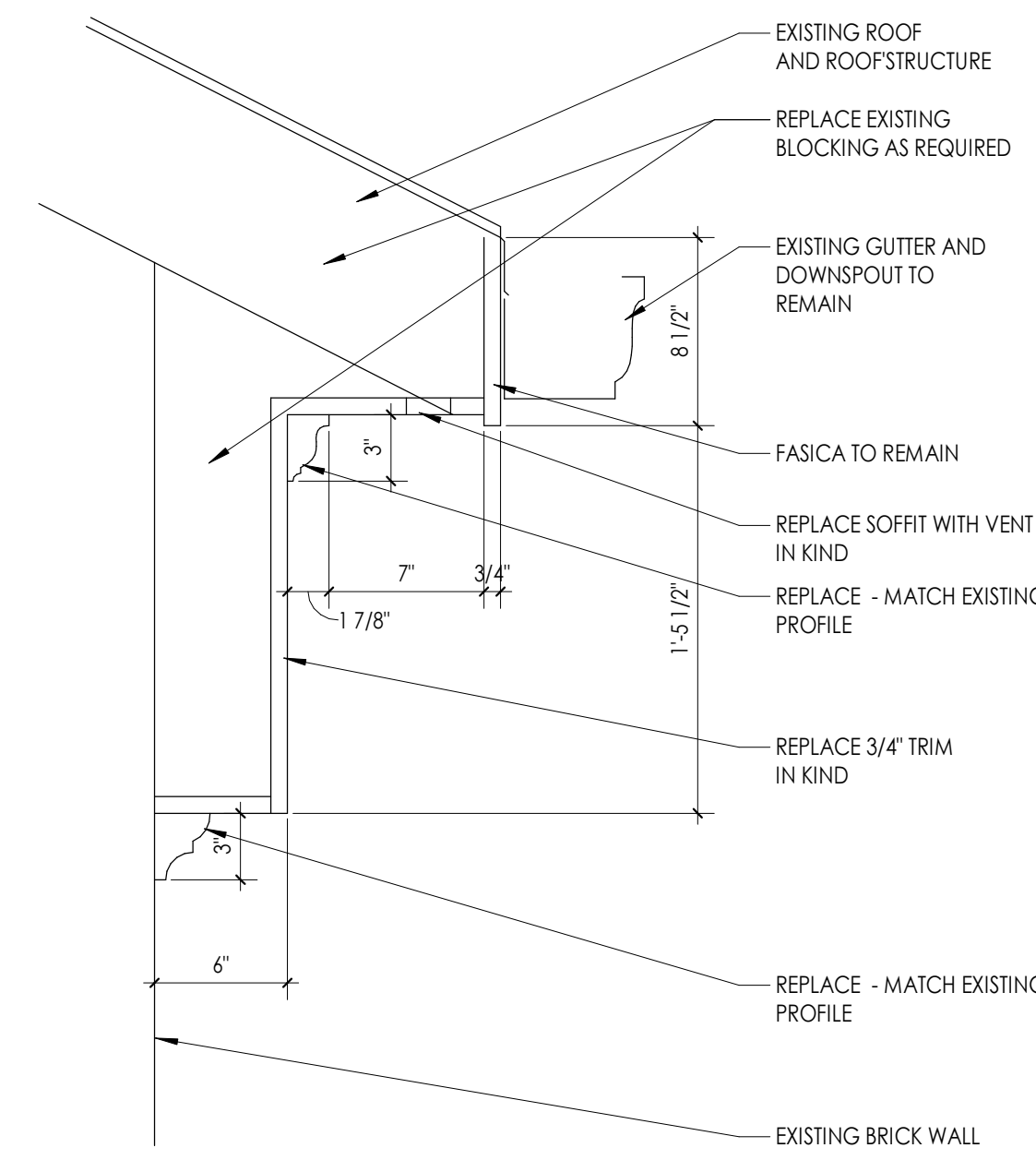
PLANNING DEPARTMENT RENOVATION

Project Address: 18 LIBERTY STREET, YORK, SC

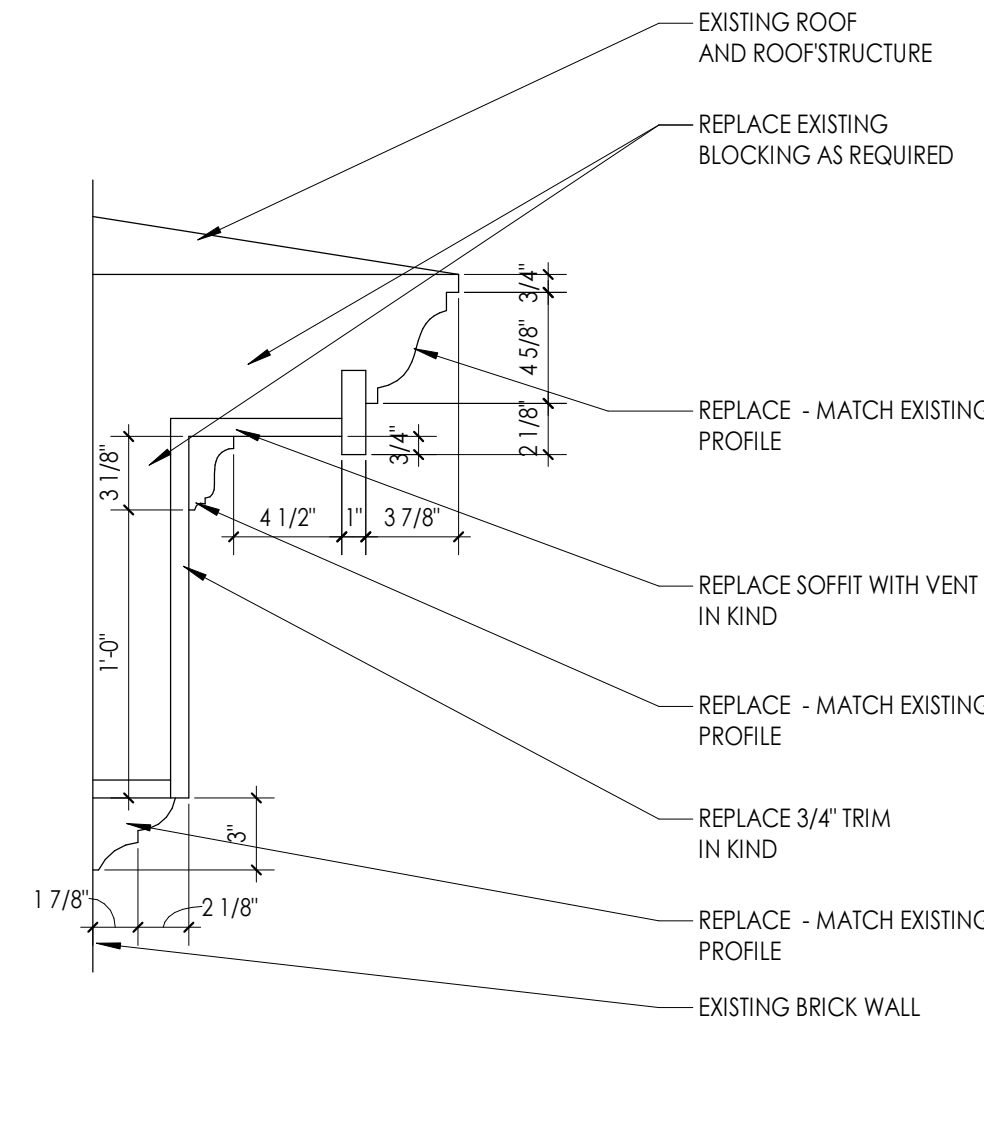
PROJECT ISSUE & REVISION SCHEDULE

#	Date	Description
1	5/16/2024	Plan Review Comments

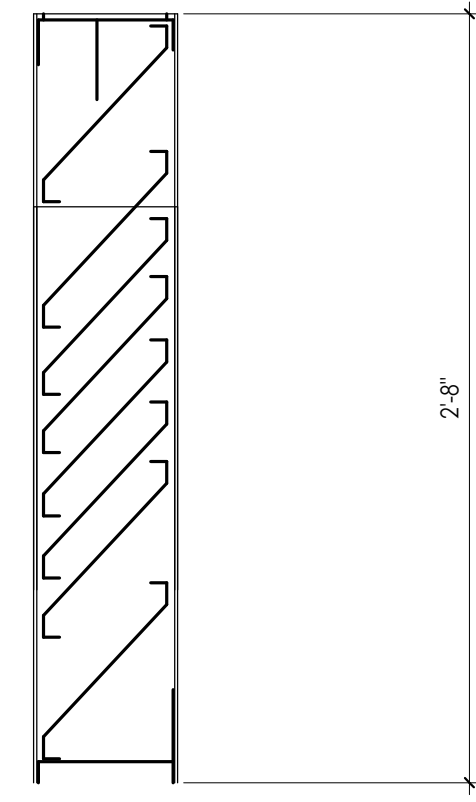
5 EXISTING CORNICE PROFILE
 A300 1 1/2" = 1'-0"



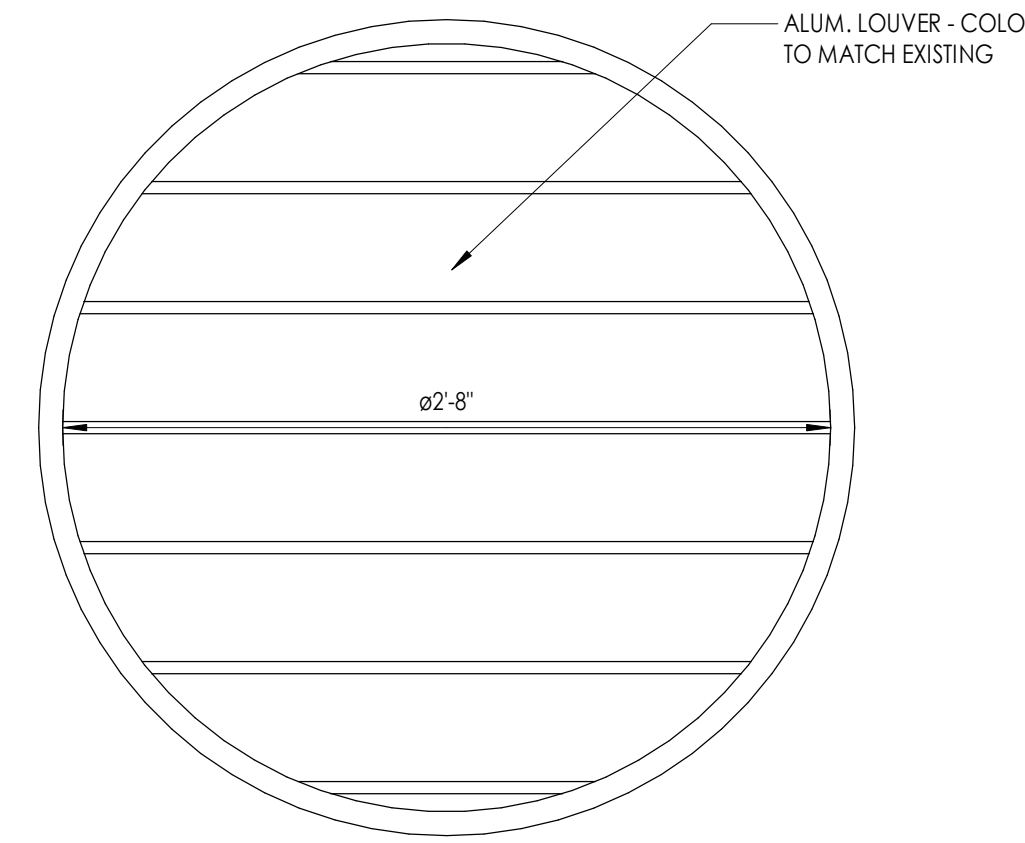
8 EXISTING RAKE PROFILE
 A300 1 1/2" = 1'-0"



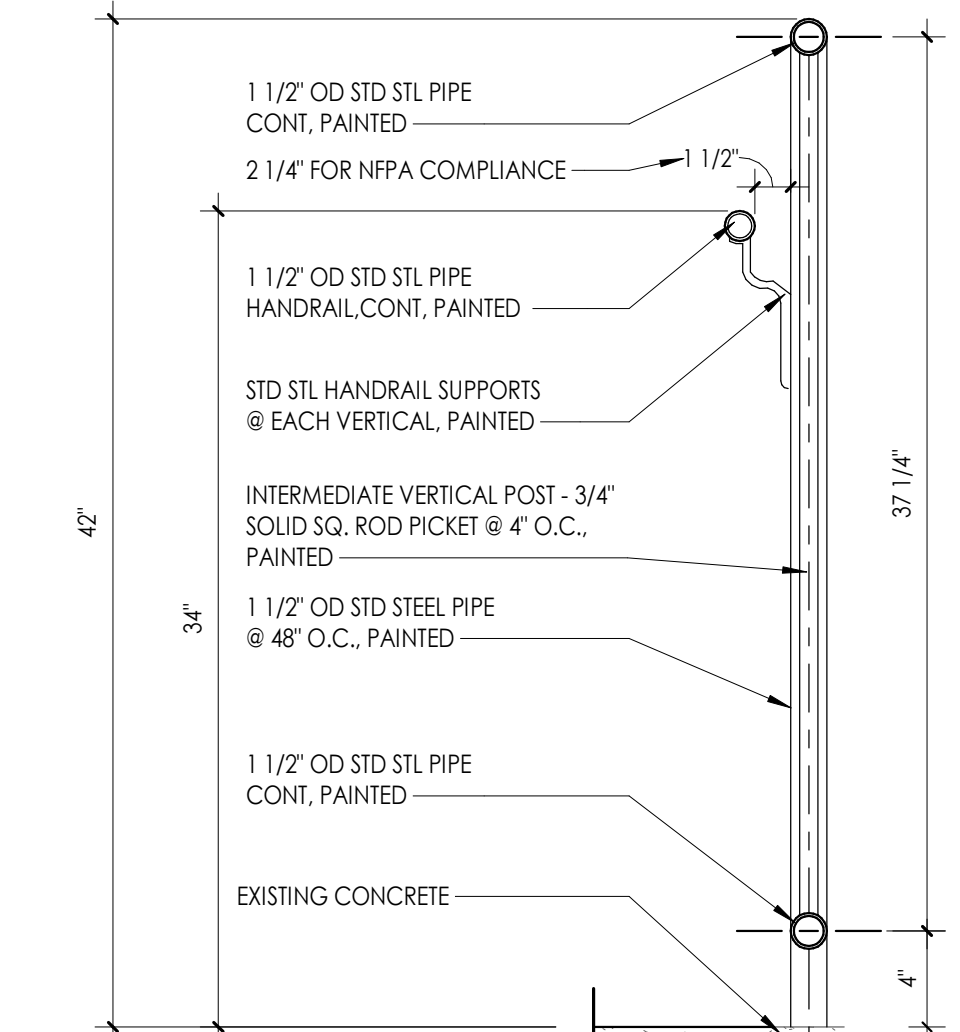
7 LOUVER SECTION
 A300 1 1/2" = 1'-0"



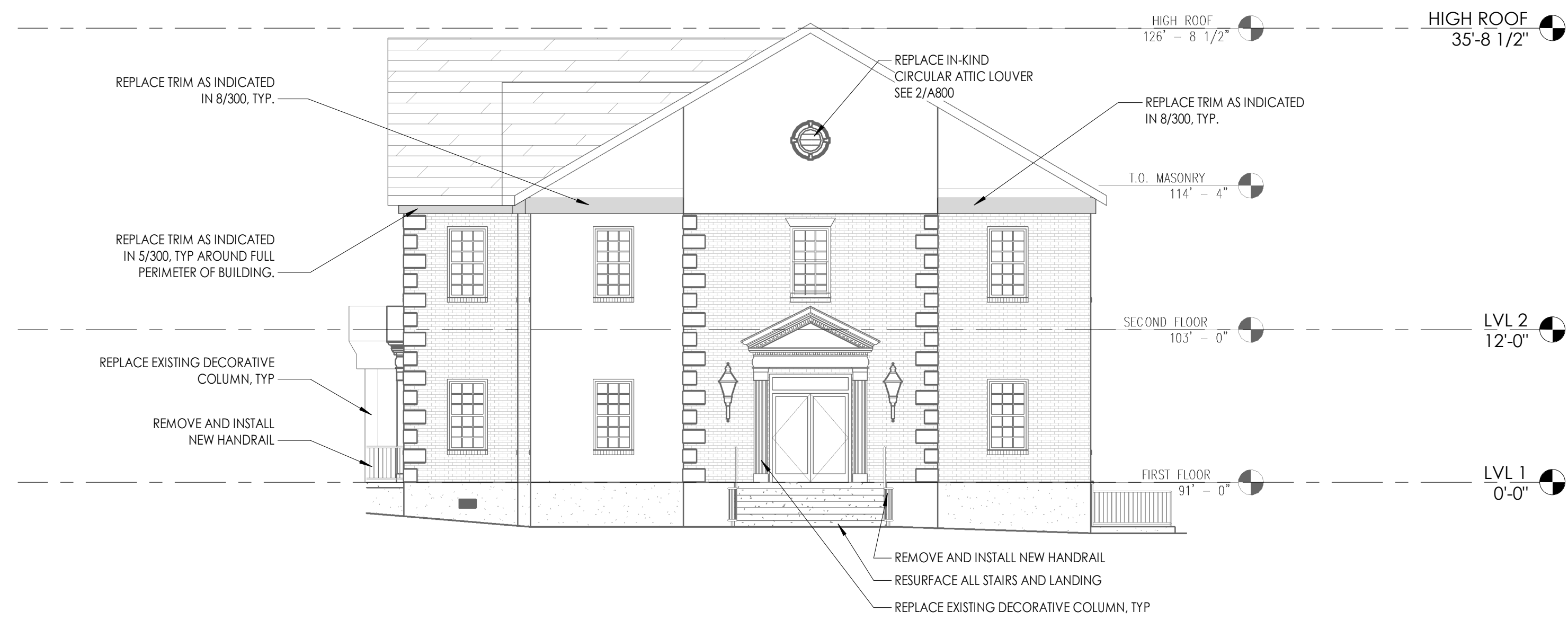
6 LOUVER ELEVATION
 A300 1 1/2" = 1'-0"



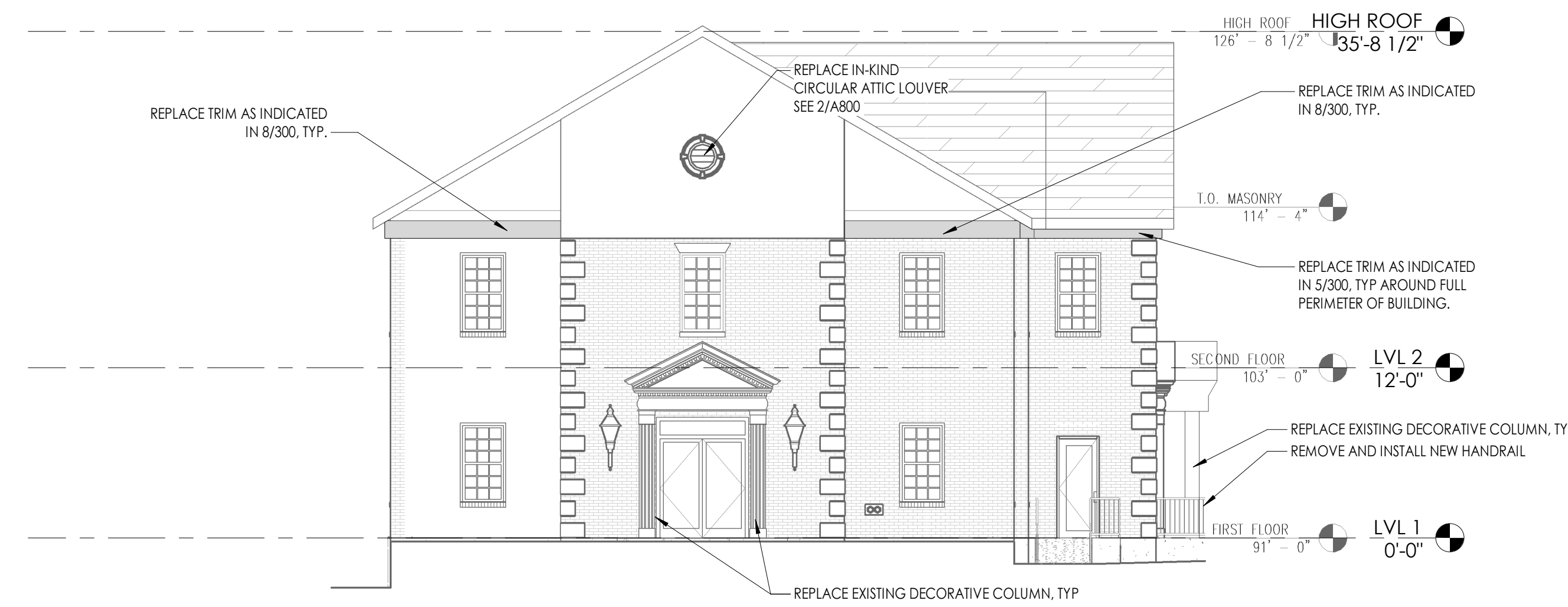
9 SECTION THRU STAIR @ GUARDRAIL W/ HANDRAIL
 A300 1 1/2" = 1'-0"



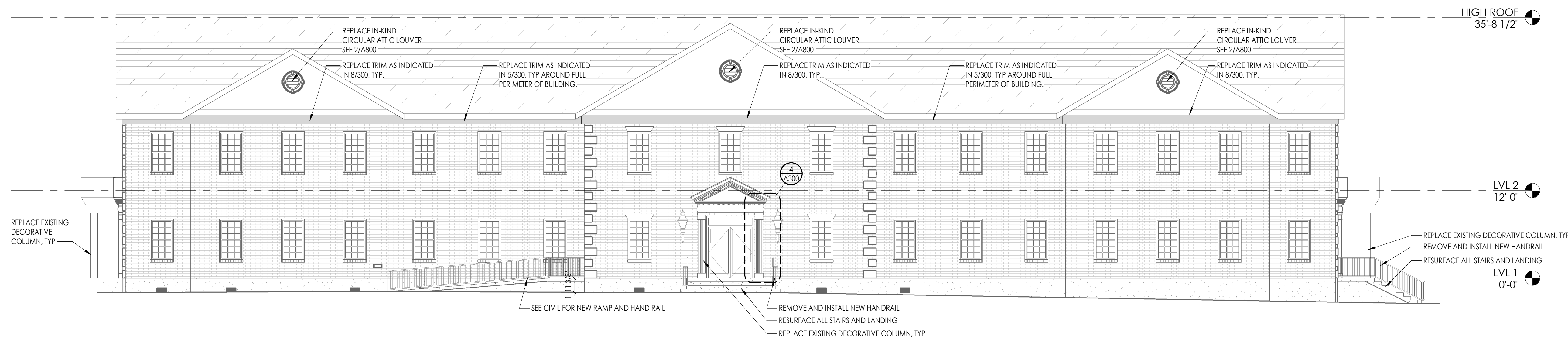
3 ELEVATION - WEST
 A300 1/8" = 1'-0"



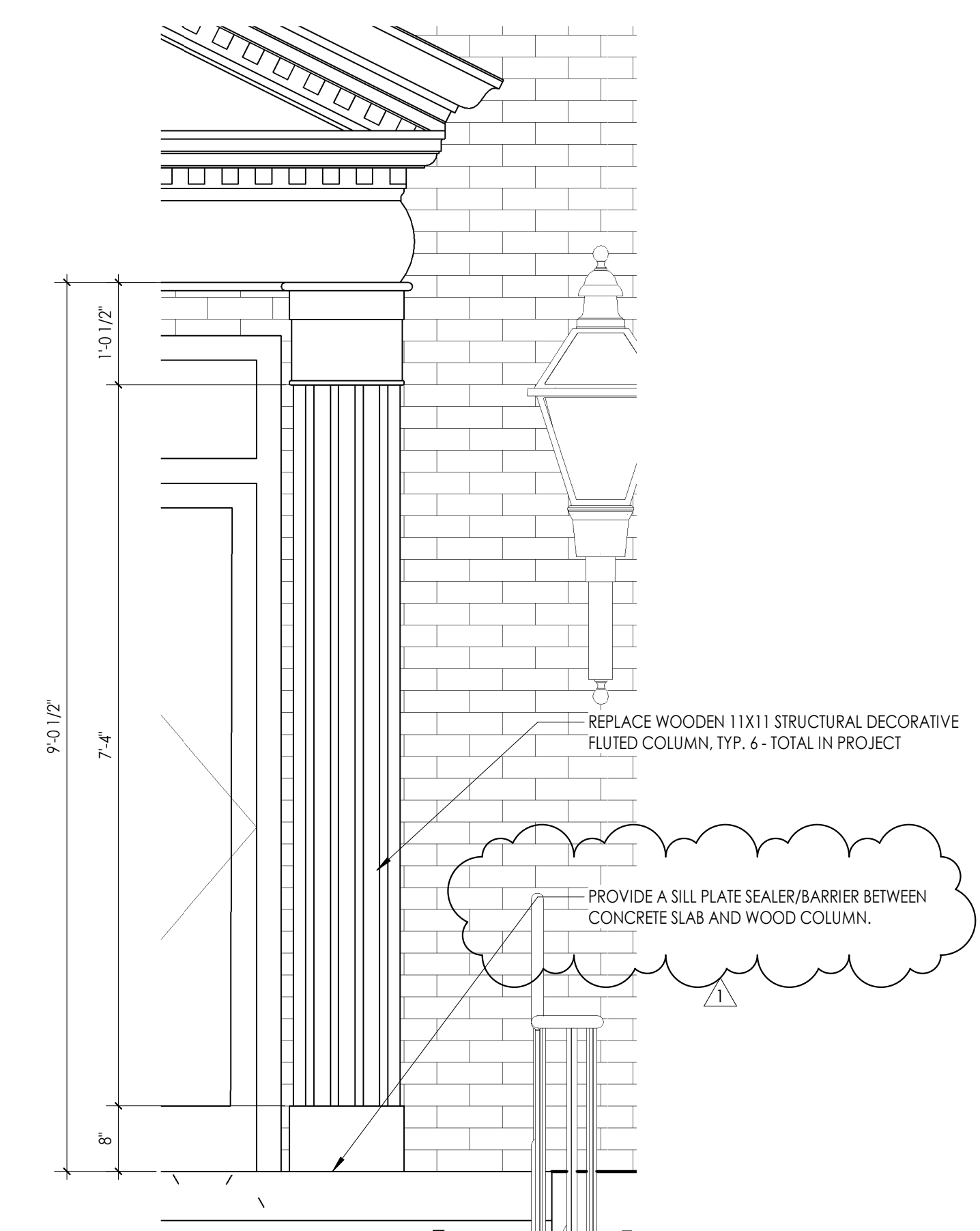
2 ELEVATION - EAST
 A300 1/8" = 1'-0"



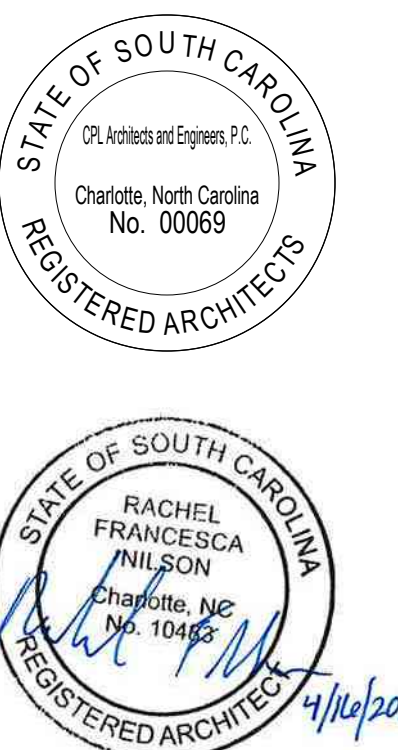
1 ELEVATION - NORTH
 A300 1/8" = 1'-0"



4 TYP. COLUMN ENLARGE ELEVATION
 A300 3/4" = 1'-0"



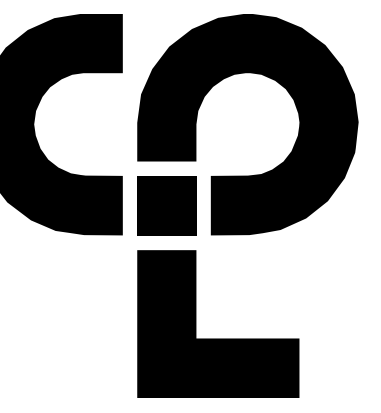
PROFESSIONAL STAMPS



SHEET INFORMATION

Issue: 04/16/2024
 Scale: As indicated
 Project Status: 100% CONSTRUCTION DOCUMENTS
 Drawn By: EAM
 Checked By: RYN
 Drawing Title: BUILDING ELEVATIONS

Drawing Number



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400 Bellmeade Street Suite 401,
Greensboro, NC 27401
CFLteam.com

NC ENGINEERING REG. LICENSE NO. C2174

GENERAL DEMOLITION NOTES

- A. ONLY ITEMS NOTED TO BE REMOVED SHALL BE REMOVED. REMOVAL OF DEVICE INCLUDES ITS ASSOCIATED CABLING, BRANCH CIRCUIT WIRING, AND RACEWAY.
- B. ANY EXISTING DEVICE TO REMAIN, LABELED AS (E) SHALL REMAIN IN PLACE AS WELL AS ITS ASSOCIATED CIRCUITING AND CONDUIT, UNLESS OTHERWISE NOTED.
- C. WHERE DEVICES, FIXTURES, ETC. ARE INDICATED TO BE REMOVED, THEY AND THEIR RELATED WIRING/CONDUIT SHALL BE REMOVED BACK TO THE SOURCE PANELBOARD UNLESS OTHERWISE NOTED. ON CIRCUITS WHERE OTHER DEVICES, FIXTURES, ETC. ARE FOUND THAT MUST REMAIN, MAINTAIN CIRCUIT CONTINUITY BY PROVIDING ADDITIONAL WIRING, TO FEED THROUGH TO THESE REMAINING ITEMS. RELOCATE ANY CIRCUITS THAT REMAIN, TO AVOID CONFLICT WITH NEW CONSTRUCTION AS REQUIRED, PROPERLY TERMINATE ALL WIRING.
- D. COORDINATE DEMOLITION OF EQUIPMENT, DEVICES, ETC. WITH OTHER DISCIPLINES AS APPLICABLE. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES FOR COORDINATION.
- E. DRAWINGS ARE GRAPHICAL REPRESENTATIONS OF APPROXIMATE EQUIPMENT AND DEVICE LOCATIONS. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXACT EXTENT OF ELECTRICAL WORK REQUIRED TO COMPLETE THE PROJECT. EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATION AND EXISTING BUILDING DOCUMENTS. OTHER ELECTRICAL ITEMS MAY EXIST FOR WHICH THE CONTRACTOR IS RESPONSIBLE.
- F. CONTRACTOR SHALL PROVIDE NEW COVERPLATES ON ALL BOXES OF UNUSED AND/OR REMOVED FLUSH MOUNT DEVICES UPON COMPLETION OF PROJECT.
- G. FIREPROOFING AND/OR FIRE STOP MATERIALS REMOVED FROM FIRE RATED WALLS AND CEILINGS AS A RESULT OF DEMOLITION SHALL BE RE-INSTALLED USING AN APPROVED METHOD AS DESCRIBED IN ASSOCIATED PROJECT SPECIFICATIONS.
- H. ALL NEW WORK SHALL BE NEW AND SHALL BE U.L LISTED.
- I. ALL WORK SHALL BE IN COMPLIANCE WITH THE 2020 NEC.

PROJECT INFORMATION

Project Number
R23.00292.00
Client Name
YORK COUNTY

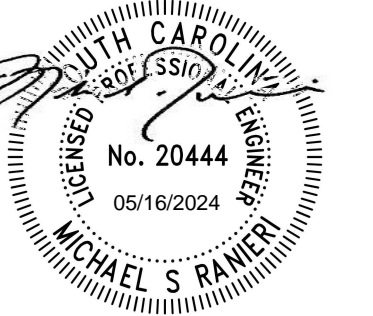
Project Name
PLANNING BUILDING RENOVATION

Project Address
18 LIBERTY STREET, YORK, SC

PROJECT ISSUE & REVISION SCHEDULE

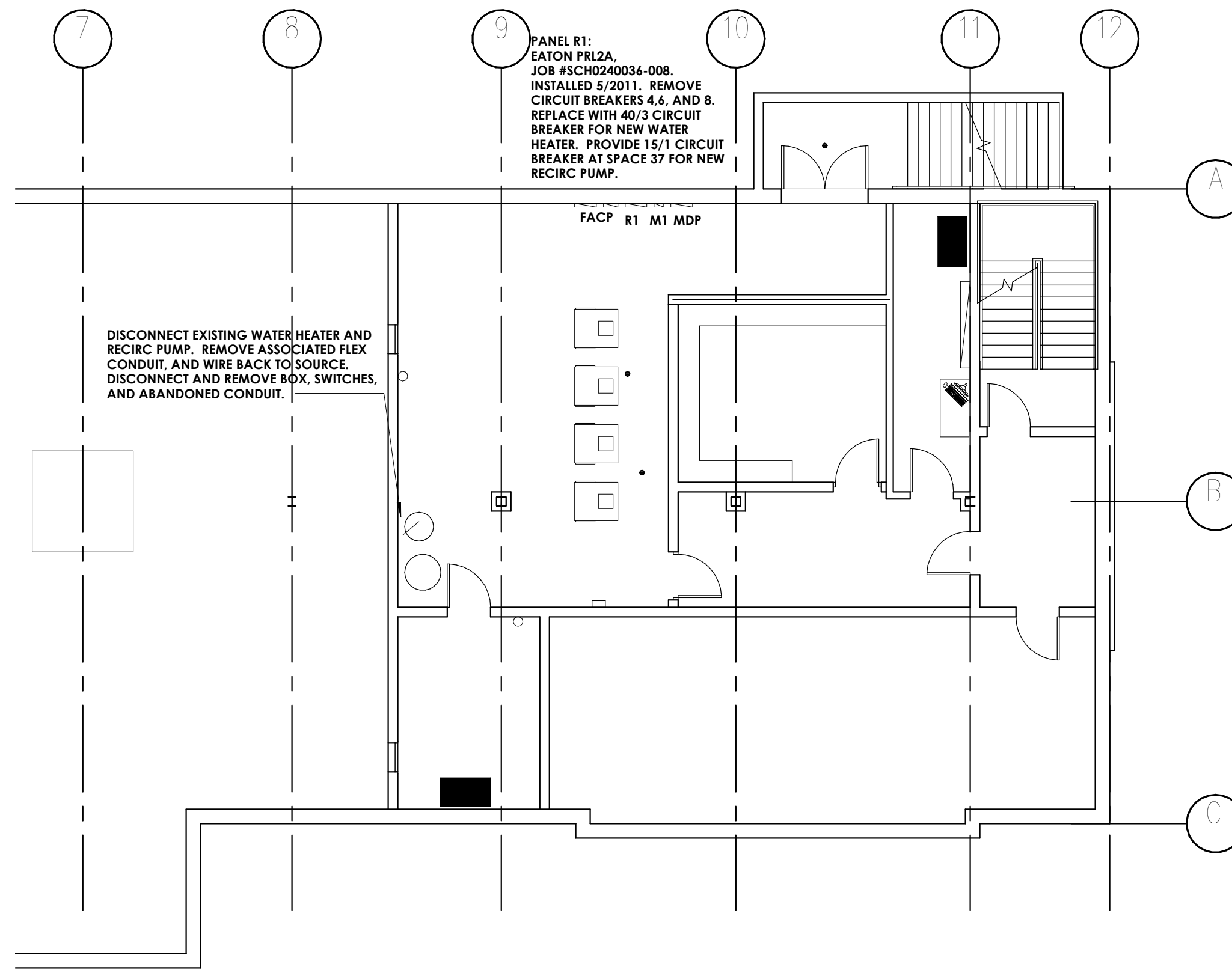
1 3/16/2024 PLAN REVIEW COMMENTS

PROFESSIONAL STAMPS



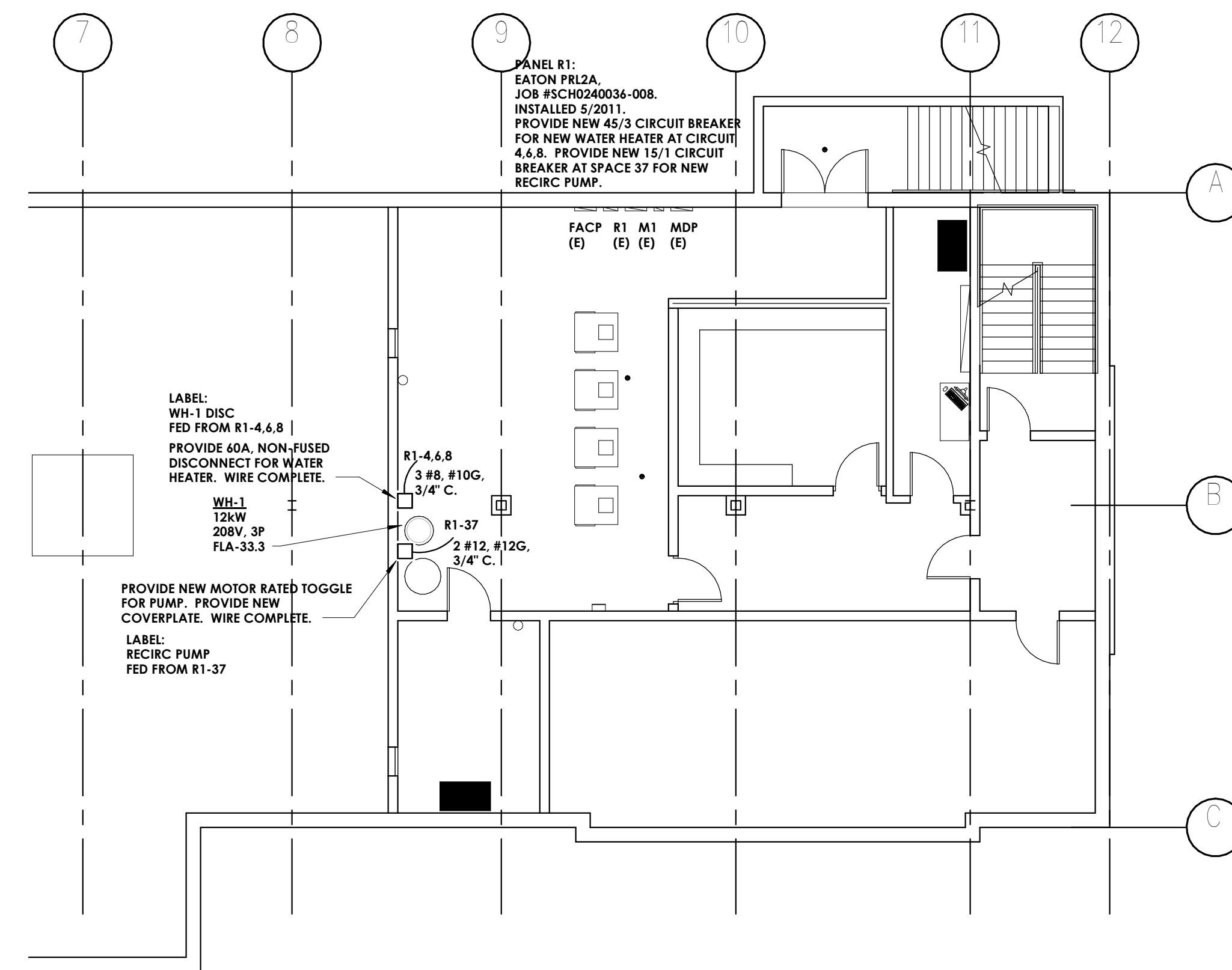
SHEET INFORMATION

Date: 04/15/2024 Scale: 1/8" = 1'-0"
Project Status: 100% CONSTRUCTION DOCUMENTS
Drawn By: MSR Checked By: MSR
Drawing Title: ELECTRICAL PLANS
Drawing Number: -

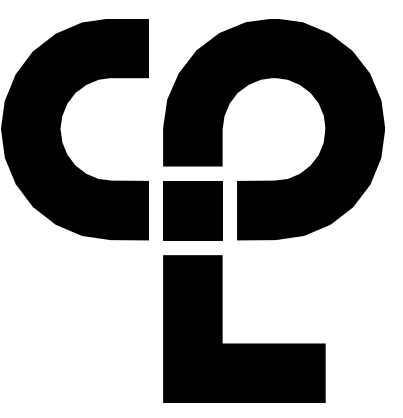


DISCONNECT EXISTING PUMP. REMOVE FLEX. REMOVE WIRING BACK TO SOURCE.

1 DEMO BASEMENT ELECTRICAL PLAN
E101 1/8" = 1'-0"



2 BASEMENT POWER PLAN
E101 1/8" = 1'-0"



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400 Bellemonte Street Suite 401,
Greensboro, NC 27401
CPLteam.com

NC ENGINEERING FIRM LICENSE NO. C-2174

- GENERAL NOTES**
- A. REMOVE EXISTING 50 GALLON WATER HEATER AND EXPANSION TANK.
 - B. REMOVE EXISTING RECIRC PUMP.
 - C. INSTALL NEW 50 GALLON WATER HEATER AND EXPANSION TANK.
 - D. INSTALL NEW RECIRC PUMP.
 - E. INSTALL NEW RECIRC WATER LINE.

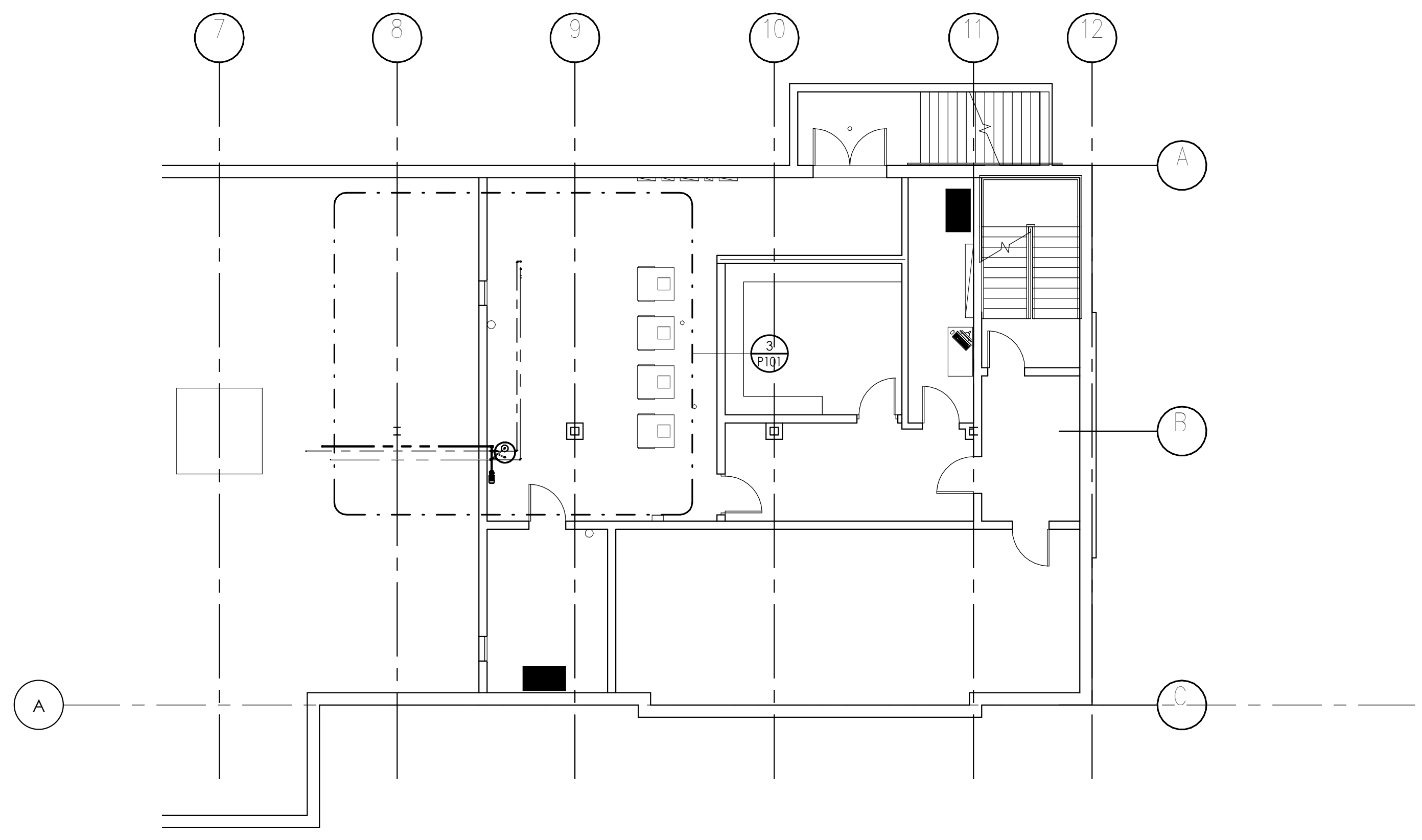
PROJECT INFORMATION
Project Number: R23.00292.00
Client Name:
YORK COUNTY

Project Name:
PLANNING BUILDING RENOVATION

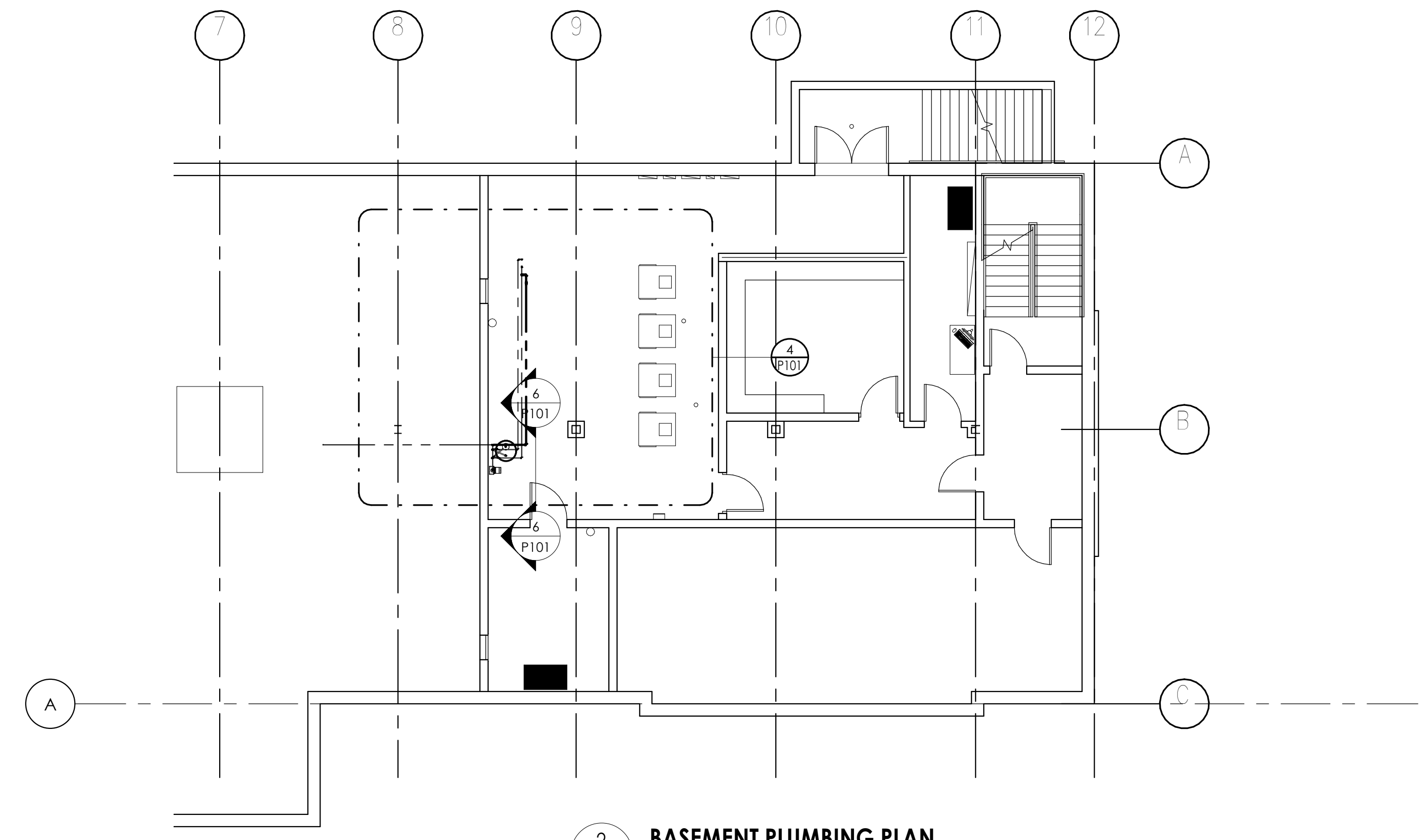
Project Address:
18 LIBERTY STREET, YORK, SC

PROJECT ISSUE & REVISION SCHEDULE

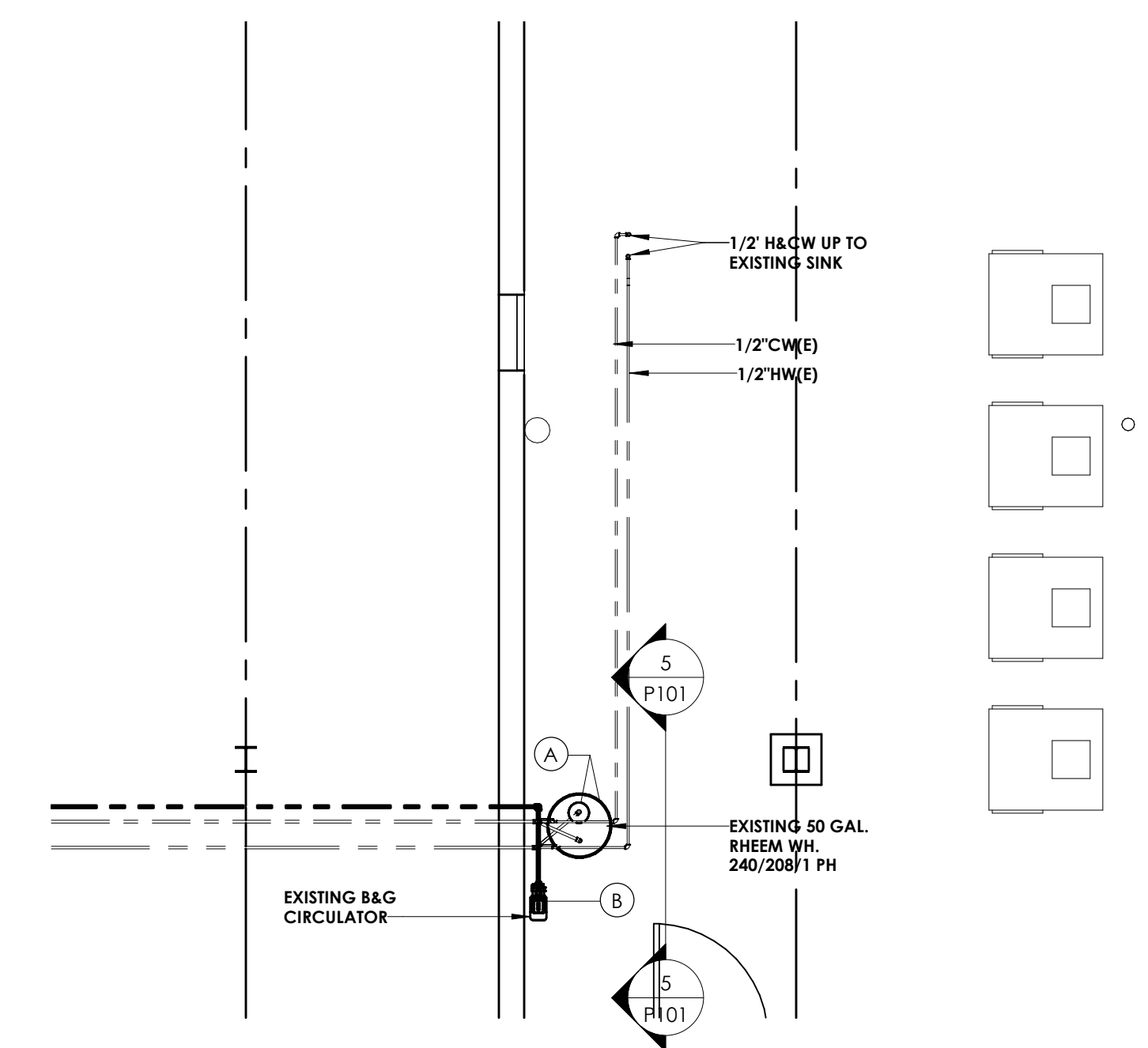
Issue No.	Date	Description
1	5/16/2024	PLAN REVIEW COMMENTS



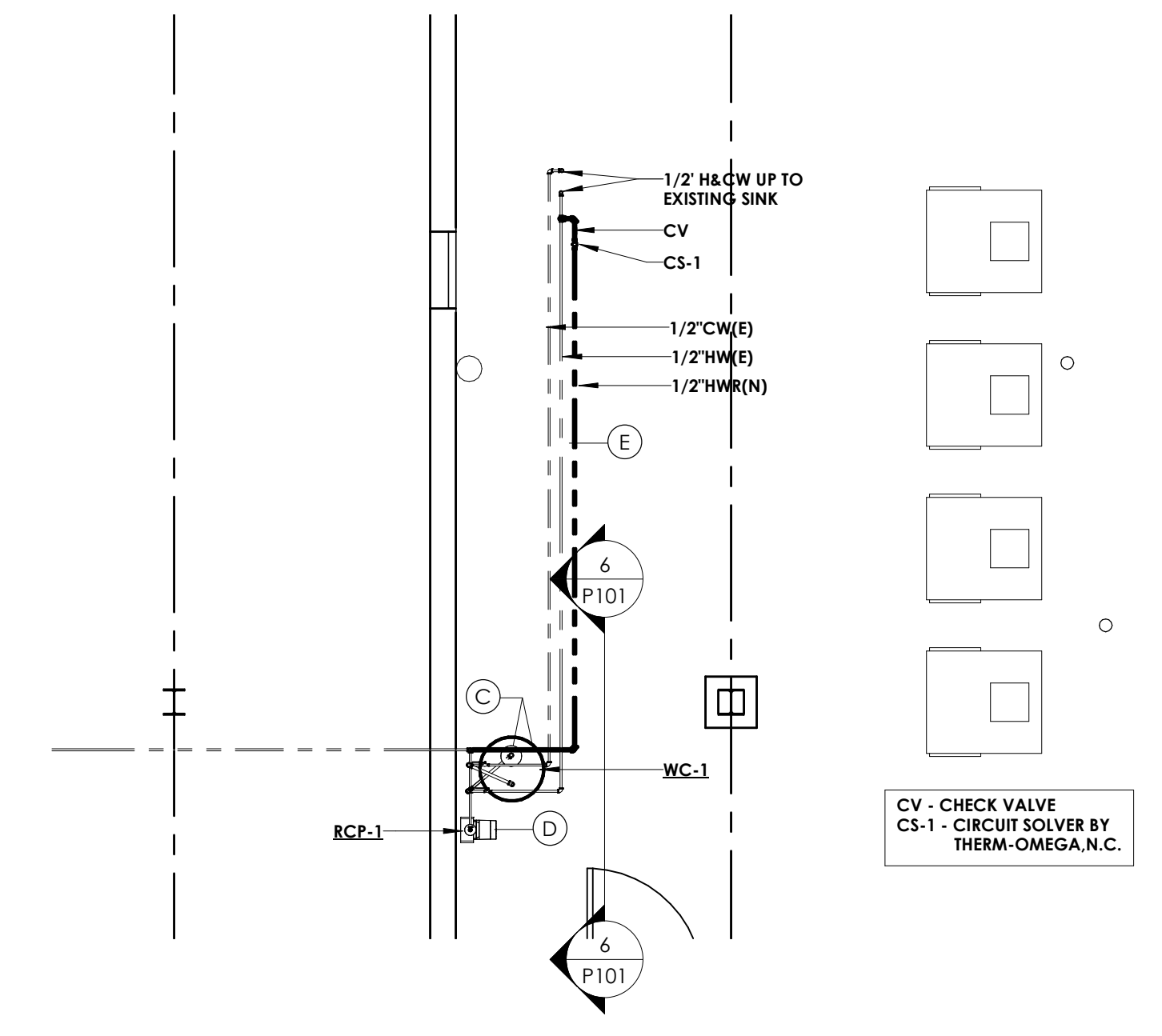
1 DEMO BASEMENT PLUMBING PLAN
P101 1/8" = 1'-0"



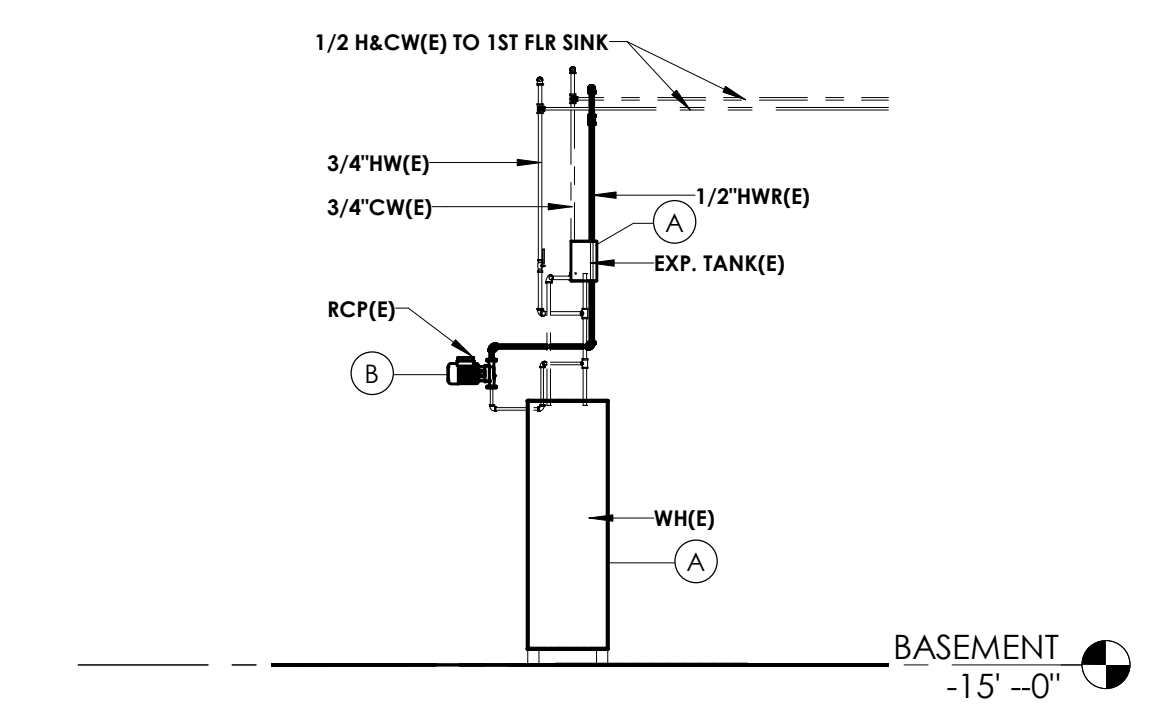
2 BASEMENT PLUMBING PLAN
P101 1/8" = 1'-0"



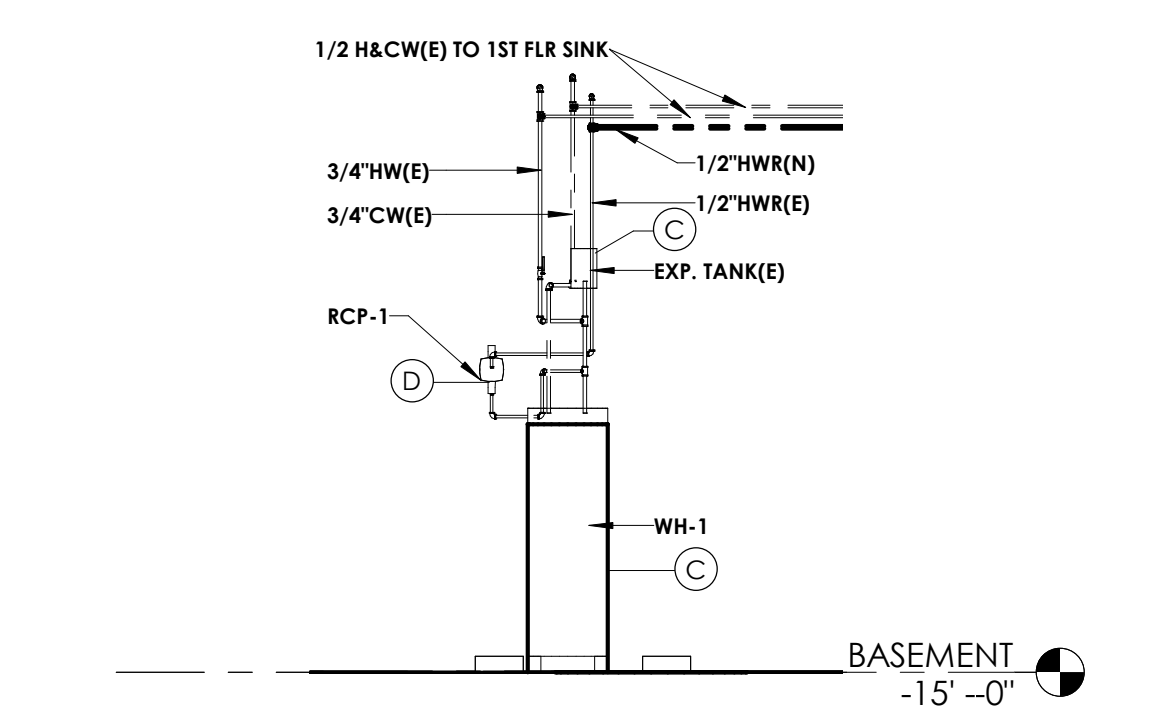
3 PARTIAL DEMO BASEMENT PLUMBING PLAN
P101 1/4" = 1'-0"



4 PARTIAL BASEMENT PLUMBING PLAN
P101 1/4" = 1'-0"



5 EXISTING WATER HEATER SECTION
P101 1/4" = 1'-0"



6 NEW WATER HEATER SECTION
P101 1/4" = 1'-0"

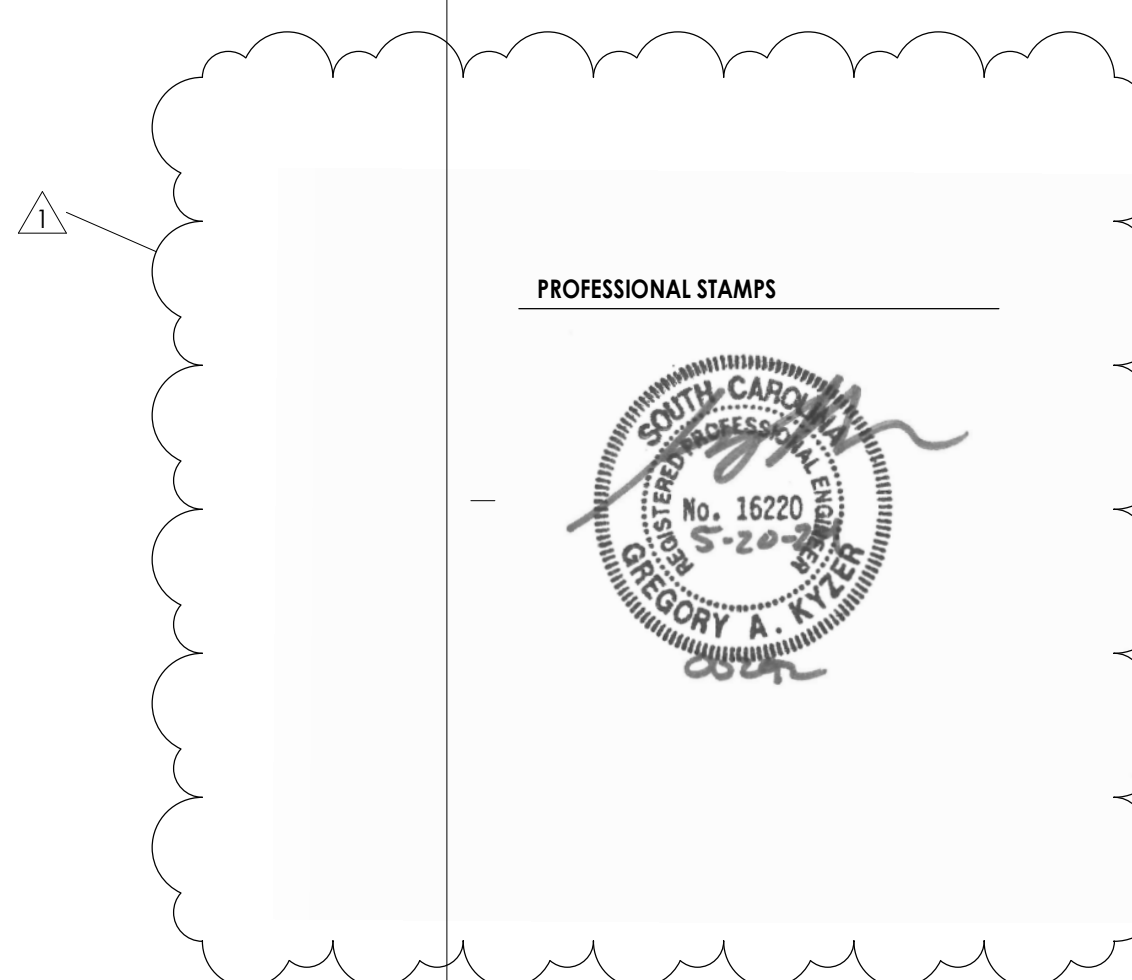
RECIRC PUMP SCHEDULE

MARK	MANUFACTURER	MODEL NO.	GPM	HEAD(F.T.)	WATTS	VOLTS	HP	CONNECTION	REMARKS
RCP-1	BELL & GOSSETT	RECOCIRC 20-18	S	10.4	22.4	120V/1/60	0.03	3/4"U/3/4" SW	LOCATED AT WATER HEATER

ELECTRIC WATER HEATER SCHEDULE

MARK	MANUFACTURER	MODEL	TYPE	CAPACITY	RECOVERY	VOLTS/PH	KW	REMARKS
WH-1	AO SMITH	DRE-52-12	ELECTRIC	50 GAL	50 GPH @ 100' RISE	208V/3Ø	12	LOCATED IN BASEMENT MECHANICAL ROOM

NOTES FOR WH-1:
1. PLUMBING CONTRACTOR TO SELECT AND INSTALL EXPANSION TANK PER WATER HEATER MANUFACTURER'S RECOMMENDATION.



SHEET INFORMATION
Sheet: 04/16/2023
Scale: As Indicated
Project Status: 100% CONSTRUCTION DOCUMENTS
Drawn By: [Blank] Checked By: [Blank]
Drawing Title: BASEMENT DEMOLITION AND NEW WORK PLAN
Drawing Number: [Blank]

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